

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO 240 RESIDENTIAL LOTS AND 24 TRACTS

DATE: 07.12.2019

### LEGAL DESCRIPTION:

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BASIS OF BEARINGS:** BEARINGS ARE BASED ON THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 16 BEING N 00°16'51" W A DISTANCE OF 2642.00 FEET AND MONUMENTED AS FOLLOWS:

-NORTHWEST CORNER OF SECTION 16, BEING A 3-1/4" BRASS CAP IN RANGE BOX, PLS 13212, PER MON. REC. DATED 5-5-06.

-WEST QUARTER CORNER OF SECTION 16, BEING A 3-1/4" BRASS CAP IN RANGE BOX, PLS 13212, PER MON. REC. DATED 2-17-05.

**BEGINNING** AT THE WEST QUARTER CORNER OF SECTION 16 SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769;

THENCE ALONG THE BOUNDARY OF SAID TRACT L THE FOLLOWING TWENTY (20) COURSES:

1. N 00°16'51" W A DISTANCE OF 1329.82 FEET;
2. N 83°23'44" E A DISTANCE OF 127.55 FEET;
3. N 75°44'21" E A DISTANCE OF 71.68 FEET;
4. N 00°16'51" W A DISTANCE OF 289.37 FEET;
5. S 89°43'09" W A DISTANCE OF 196.33 FEET;
6. N 00°16'51" W A DISTANCE OF 142.45 FEET;
7. N 79°55'19" E A DISTANCE OF 159.62 FEET;
8. S 77°09'22" E A DISTANCE OF 160.18 FEET;
9. S 70°05'26" E A DISTANCE OF 250.41 FEET;
10. N 85°47'18" E A DISTANCE OF 143.03 FEET;
11. S 15°10'30" E A DISTANCE OF 444.97 FEET;
12. S 10°15'04" E A DISTANCE OF 103.87 FEET;
13. ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 64°09'21" E 45.65 FEET, A RADIUS OF 300.00 FEET, AN ARC OF 45.69 FEET, AND A DELTA OF 8°43'37";
14. S 59°47'33" E A DISTANCE OF 89.55 FEET;

15. ALONG A CURVE TO THE LEFT HAVING A CHORD OF N 75°12'27" E 21.21 FEET, A RADIUS OF 15.00 FEET, AN ARC OF 23.56 FEET, AND A DELTA OF 89°58'58";
16. N 30°12'27" E A DISTANCE OF 134.63 FEET;
17. ALONG A CURVE TO THE RIGHT HAVING A CHORD OF N 35°11'40" E 57.37 FEET, A RADIUS OF 330.00 FEET, AN ARC OF 57.44 FEET, AND A DELTA OF 9°58'24";
18. ALONG A CURVE TO THE LEFT HAVING A CHORD OF S 42°41'21" E 12.95 FEET, A RADIUS OF 45.00 FEET, AN ARC OF 12.99 FEET, AND A DELTA OF 16°32'41";
19. S 50°57'41" E A DISTANCE OF 47.18 FEET;
20. ALONG A CURVE TO THE RIGHT HAVING A CHORD OF N 59°44'49" E 182.13 FEET, A RADIUS OF 270.00 FEET, AN ARC OF 185.77 FEET, AND A DELTA OF 39°25'19" TO THE NORTHWEST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2019009874;

THENCE ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND RECORDED AT RECEPTION NO. 2019009874 THE FOLLOWING THREE (3) COURSES:

1. ALONG A CURVE TO THE RIGHT HAVING A CHORD OF S 50°23'44" E 23.03 FEET, A RADIUS OF 15.00 FEET, AN ARC OF 26.26 FEET, AND A DELTA OF 100°17'35";
2. S 00°14'56" E A DISTANCE OF 422.15 FEET;
3. N 80°45'04" E A DISTANCE OF 46.57 FEET TO A POINT ON THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16;

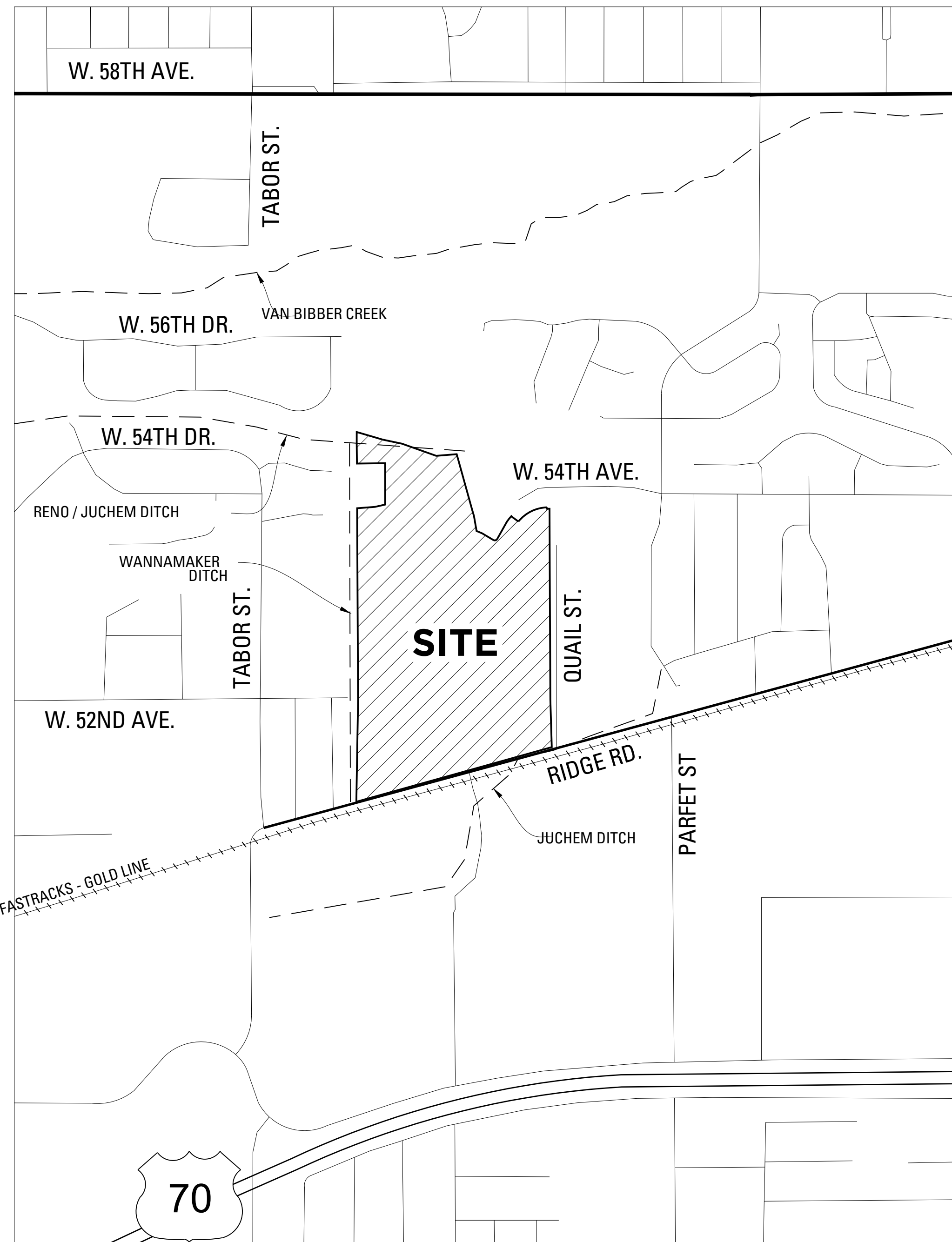
THENCE S 00°14'56" E ALONG SAID EAST LINE A DISTANCE OF 895.22 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16;

THENCE S 00°16'15" E ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16 A DISTANCE OF 345.56 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF REGIONAL TRANSPORTATION DISTRICT PARCEL RECORDED AT RECEPTION NO. 2010028793;

THENCE S 74°39'24" W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 1376.28 FEET TO A POINT ON THE WEST LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 SECTION 16;

THENCE N 00°19'28" W ALONG SAID WEST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 SECTION 16 A DISTANCE OF 699.19 FEET TO THE **POINT OF BEGINNING.**

THE ABOVE DESCRIBED PARCEL CONTAINS 2,646,414 SQUARE FEET, OR 60.7533 ACRES MORE OR LESS.



### VICINITY MAP

1" = 800'

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49. PHOTOMETRICS
50. PHOTOMETRICS
51. PHOTOMETRICS

EXHIBIT A TRANSIT PROXIMITY

OWNER:

**SSM RIDGE, LLC**

7353 S. ALTON WAY  
STE. A-100  
CENTENNIAL, COLORADO



**CONSILIUM DESIGN**

2755 SOUTH LOCUST ST  
STE. 236  
DENVER, COLORADO



**KT ENGINEERING**

12500 W. 58TH AVE. #230  
ARVADA, CO 80002

TRACT	OWNERSHIP	AREA SF	AREA AC	USE
A	ARVADA	264,226 SF	6.066 AC	PUBLIC OPEN SPACE/TRAIL
B	DISTRICT	49,772 SF	1.143 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
C	DISTRICT	5,034 SF	0.116 AC	PRIVATE DRIVE
D	DISTRICT	15,491 SF	0.356 AC	PRIVATE DRIVE
E	DISTRICT	1,626 SF	0.037 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
F	DISTRICT	14,786 SF	0.339 AC	PRIVATE DRIVE
G	DISTRICT	6,316 SF	0.145 AC	OPEN SPACE / UTILITY & DRAINAGE
H	DISTRICT	108,389 SF	2.488 AC	PARK, TRAIL & PEDESTRIAN ACCESS
I	DISTRICT	32,236 SF	0.740 AC	PRIVATE DRIVE
J	DISTRICT	5,237 SF	0.120 AC	OPEN SPACE / UTILITY & DRAINAGE
K	DISTRICT	314,954 SF	7.230 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
L	DISTRICT	49,756 SF	1.142 AC	PRIVATE DRIVE
M	DISTRICT	1,556 SF	0.036 AC	OPEN SPACE / UTILITY & DRAINAGE
N	DISTRICT	1,610 SF	0.037 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
O	DISTRICT	1,950 SF	0.045 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
P	DISTRICT	3,081 SF	0.071 AC	OPEN SPACE / UTILITY & DRAINAGE
Q	DISTRICT	33,527 SF	0.770 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
R	DISTRICT	1,697 SF	0.039 AC	OPEN SPACE, UTILITY, DRAINAGE & PEDESTRIAN ACCESS
S	PRIVATE	403,435 SF	9.262 AC	FUTURE DEVELOPMENT
T	PRIVATE	8,886 SF	0.204 AC	OPEN SPACE / UTILITY & DRAINAGE
U	PRIVATE	13,348 SF	0.306 AC	OTHER / NONE
V	PRIVATE	9,005 SF	0.207 AC	OTHER / NONE
W	PRIVATE	649 SF	0.015 AC	OTHER / NONE
X	PRIVATE	278 SF	0.006 AC	OTHER / NONE

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240 RESIDENTIAL LOTS AND 24 TRACTS

### LEGEND & ABBREVIATIONS

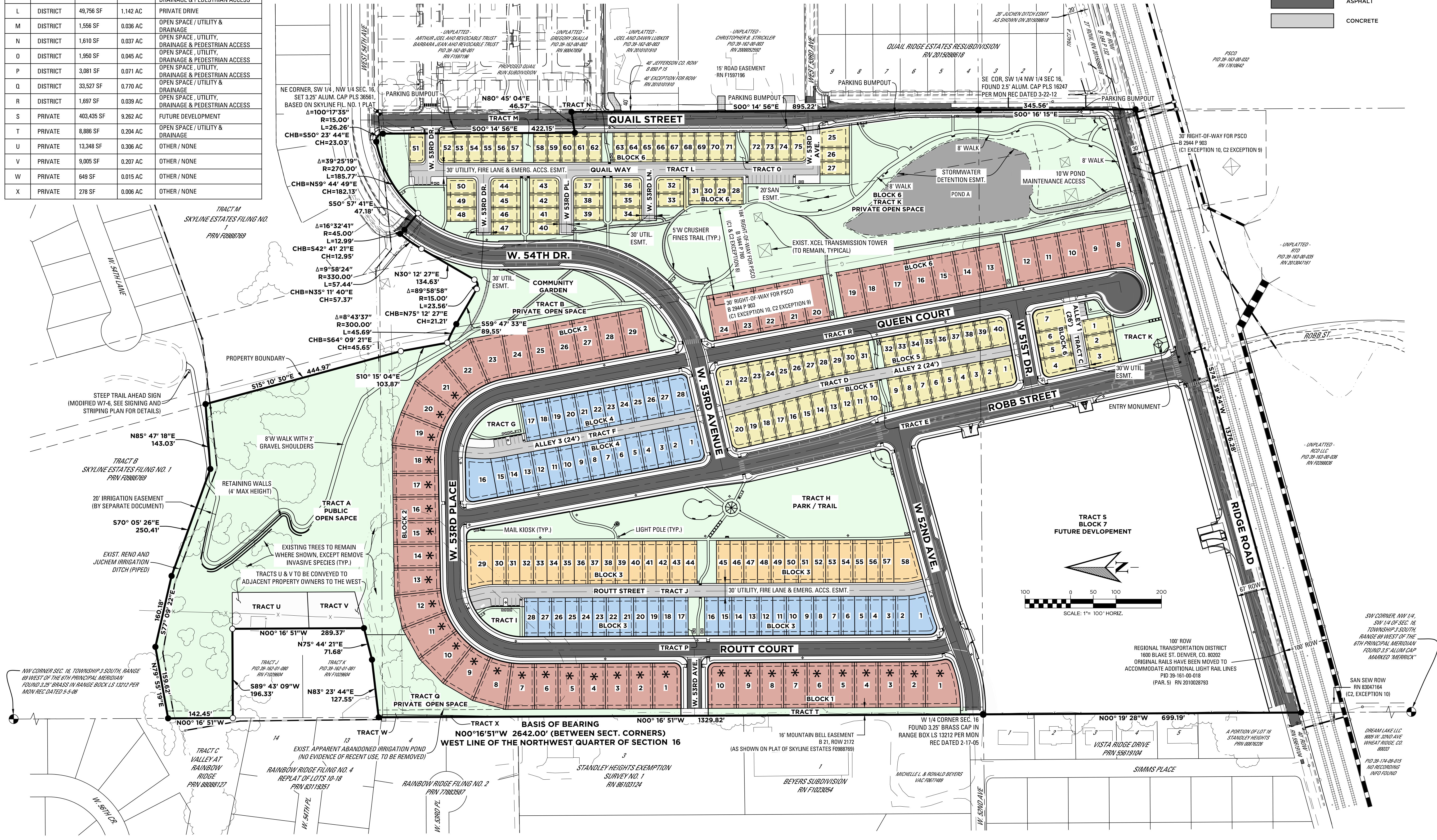
- SET NO. 4 REBAR W/ ORANGE CAP PLS 36561
- FOUND PROPERTY PIN
- ⊗ XCEL TOWERS
- ⊙ MONUMENTS (SECTION CORNERS)
- \* LOTS RESTRICTED TO SINGLE-STORY
- PROPERTY BOUNDARY
- LOT LINES
- EASEMENT LINES
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- ESMT EASEMENT AS DESCRIBED
- RTD REGIONAL TRANSPORTATION DISTRICT
- PSCD PUBLIC SERVICE COMPANY OF COLORADO
- ROW RIGHT-OF-WAY
- SAN SANITARY SEWER
- UTIL UTILITY
- EMERG EMERGENCY ACCESS

### NOTES

- BASIC DIMENSION INFORMATION ON LOTS AND TRACTS CAN BE SEEN ON SHEETS 5-8 OF THE FDP.

### HATCH TYPE LEGEND

- SINGLE-FAMILY DETACHED
- DUPLEX
- DUPLEX W/ FULL LENGTH DRIVEWAY
- SINGLE-FAMILY DETACHED ALLEY ACCESS
- OPEN SPACE
- ASPHALT
- CONCRETE



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**architecture design collaborative**  
10113 Inverness Main St. Suite T  
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www.acdcollaborative.com  
303.351.0040

**Consilium Design**  
LAND PLANNING AND  
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PREPARED FOR:  
**SSM RIDGE, LLC**  
7353 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

### REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	06-20-2019	KT	REFERRAL COMMENTS
2.	07-12-2019	LIL	CITY OF ARVADA COMMENTS
3.	08-22-2019	LIL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			

### SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### OVERALL SITE PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**

DESIGNED BY:  
**KT**

SCALE:  
**1" = 100'**

SUBMITTED ON:  
**12.19.2018**

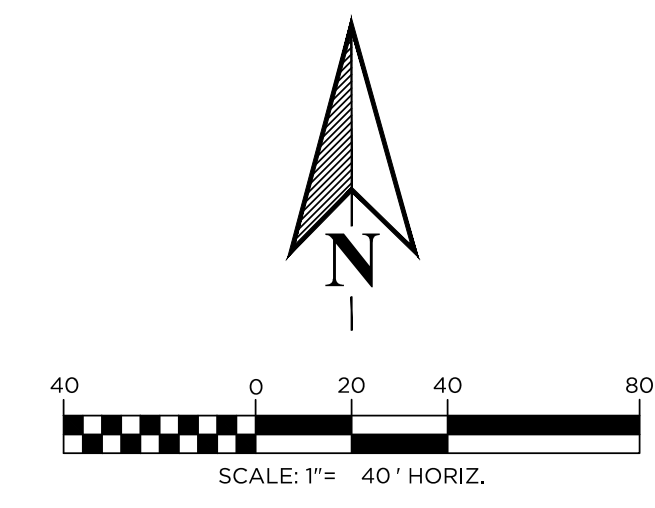
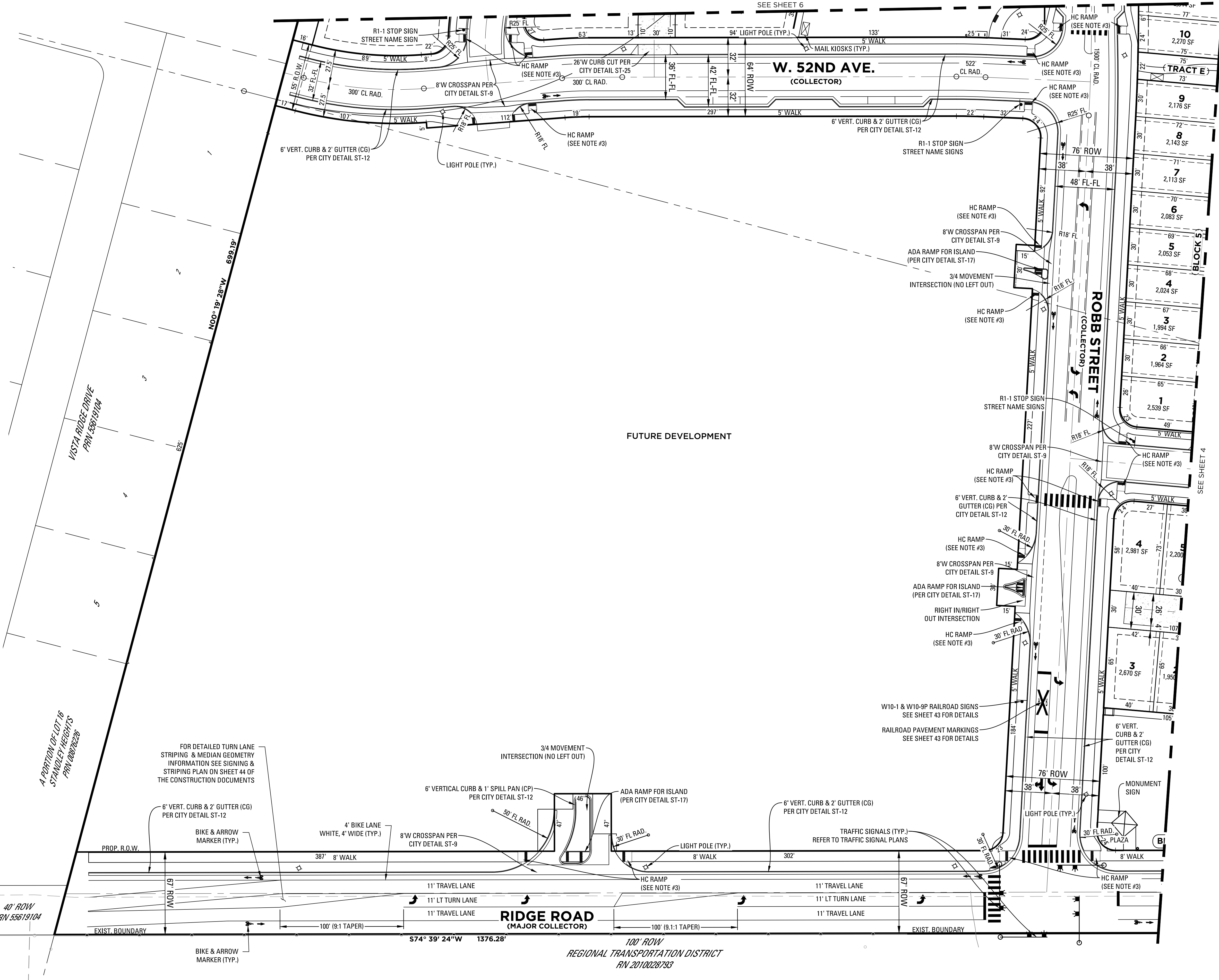
**2**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN A PART OF THE WEST HALF OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO 240 RESIDENTIAL LOTS AND 24 TRACTS

SEE SHEET 6



### AFPD NOTES

- DURING CONSTRUCTION THERE SHALL BE BUILDING OR SITE SIGNAGE PROVIDED, A MINIMUM OF 4-INCHES HIGH WITH A 0.5 INCH STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE BUILDING.
- APPROVED FIRE APPARATUS ACCESS (EVA) SHALL BE PROVIDED DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, FIRE APPARATUS ACCESS CONSISTING OF THE FIRST-LIFT OF ASPHALT OR CONCRETE SHALL BE PROVIDED PRIOR TO COMMENCING CONSTRUCTION ABOVE GRADE.
- FIRE APPARATUS ACCESS ROADS (EVA) SHALL BE PROVIDED WITH AN ALL-WEATHER SURFACE (CONCRETE OR ASPHALT). ACCESS ROADS SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 LBS.
- THE MINIMUM WIDTH OF THE EVA SHALL BE CLEAR AND UNOBSTRUCTED 24 FEET FOR BUILDING HEIGHTS LESS THAN 30 FEET. FOR BUILDING HEIGHTS THAT EXCEED 30 FEET IN HEIGHT, A 26 FOOT EVA WILL BE REQUIRED.

### NOTES

- ALL CURB AND GUTTER SHALL BE MOUNTABLE CURB AND GUTTER (MG) PER CITY DETAIL ST-12 UNLESS OTHERWISE NOTED.
- ALL FLOWLINE CURB RETURN RADII ARE 18' UNLESS OTHERWISE NOTED.
- ALL HANDICAP RAMPS SHALL BE MID BLOCK CROSS WALK INTERSECTION ADA RAMP DETAIL (MR1)-TYPE III PER CITY DETAIL ST-19 UNLESS OTHERWISE NOTED.
- ALL STREETS ARE LOCAL (PER CITY DETAIL ST-3) UNLESS OTHERWISE NOTED.
- ALL WALKS ARE CONCRETE UNLESS OTHERWISE NOTED.
- COMPLETE CENTERLINE OF ROAD INFORMATION IS PRESENTED ON THE FINAL PLAT.

ENGINEERING:  
  
**KT ENGINEERING**  
 12500 W. 58th Ave. #330  
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REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05-20-2019	KT	REFERRAL COMMENTS
2.	07-12-2019	LJL	CITY OF ARVADA COMMENTS
3.	08-22-2019	LJL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### SITE PLAN (1 OF 4)

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**  
 DESIGNED BY:  
**KT**

SCALE:  
**1" = 40'**

SUBMITTED ON:  
**12.19.2018**

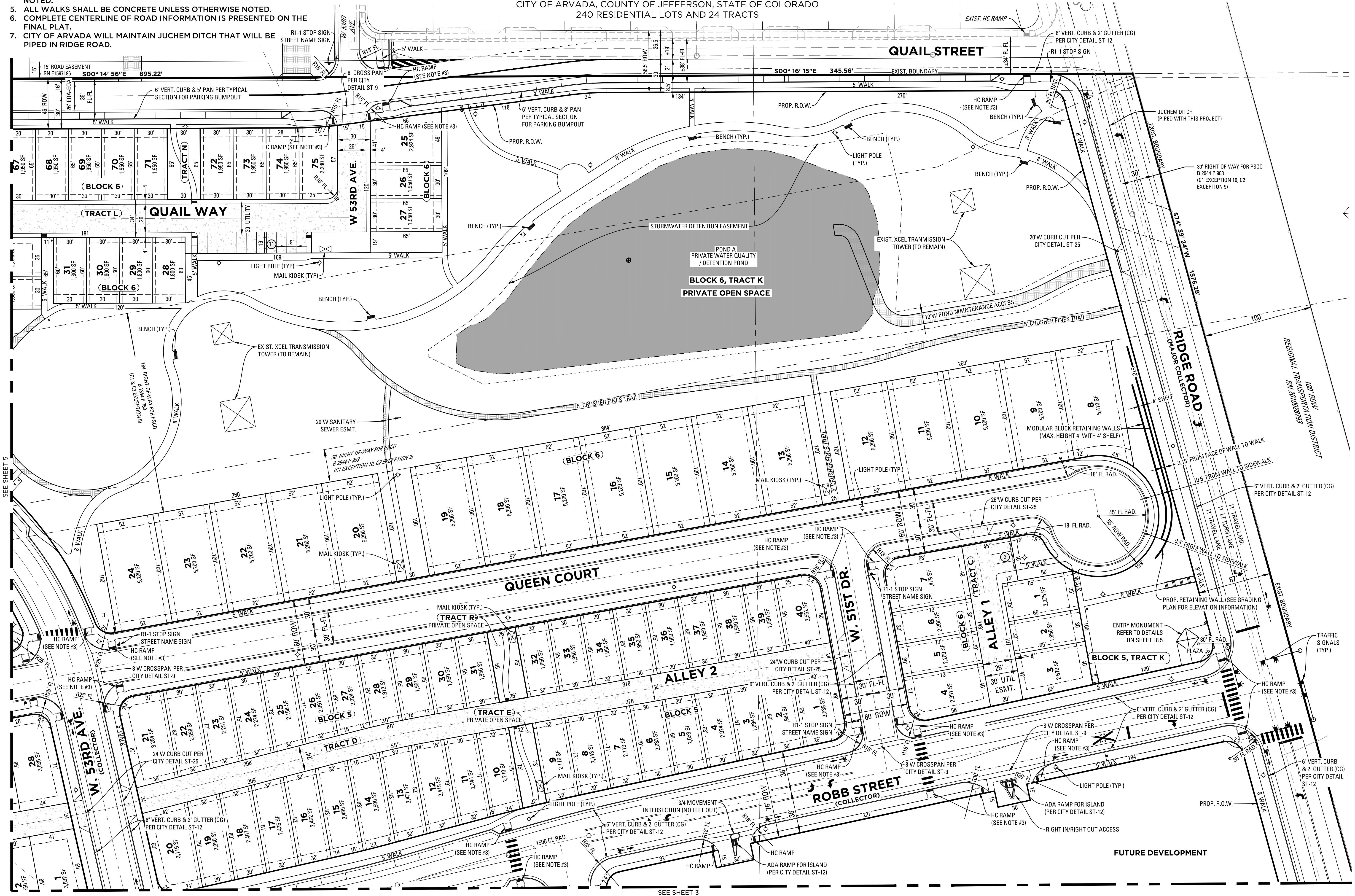
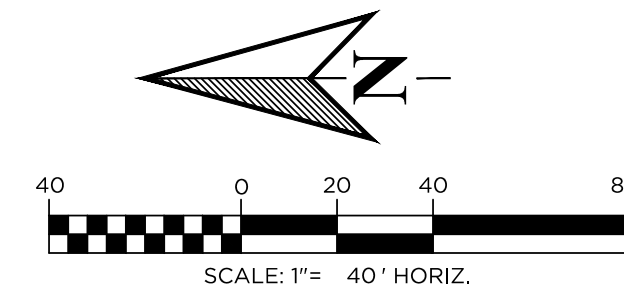
NOTES

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4. ALL STREETS ARE LOCAL (PER CITY DETAIL ST-3) UNLESS OTHERWISE NOTED.
5. ALL WALKS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
6. COMPLETE CENTERLINE OF ROAD INFORMATION IS PRESENTED ON THE FINAL PLAN.
7. CITY OF ARVADA WILL MAINTAIN JUCHEM DITCH THAT WILL BE PIPED IN RIDGE ROAD.

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN A PART OF THE WEST HALF OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO 240 RESIDENTIAL LOTS AND 24 TRACTS



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PREPARED FOR:  
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 8 2944 P 903  
 Centennial, CO 80112  
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REVISIONS:

NO.	DATE	BY	DESCRIPTION
1.	06-20-2019	KT	REFERRAL COMMENTS
2.	07-12-2019	LJL	CITY OF ARVADA COMMENTS
3.	08-23-2019	LJL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### SITE PLAN (2 OF 4)

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**

DESIGNED BY:  
**KT**

SCALE:  
**1" = 40'**

DATE:  
**12.19.2018**

**4**  
 OF 51

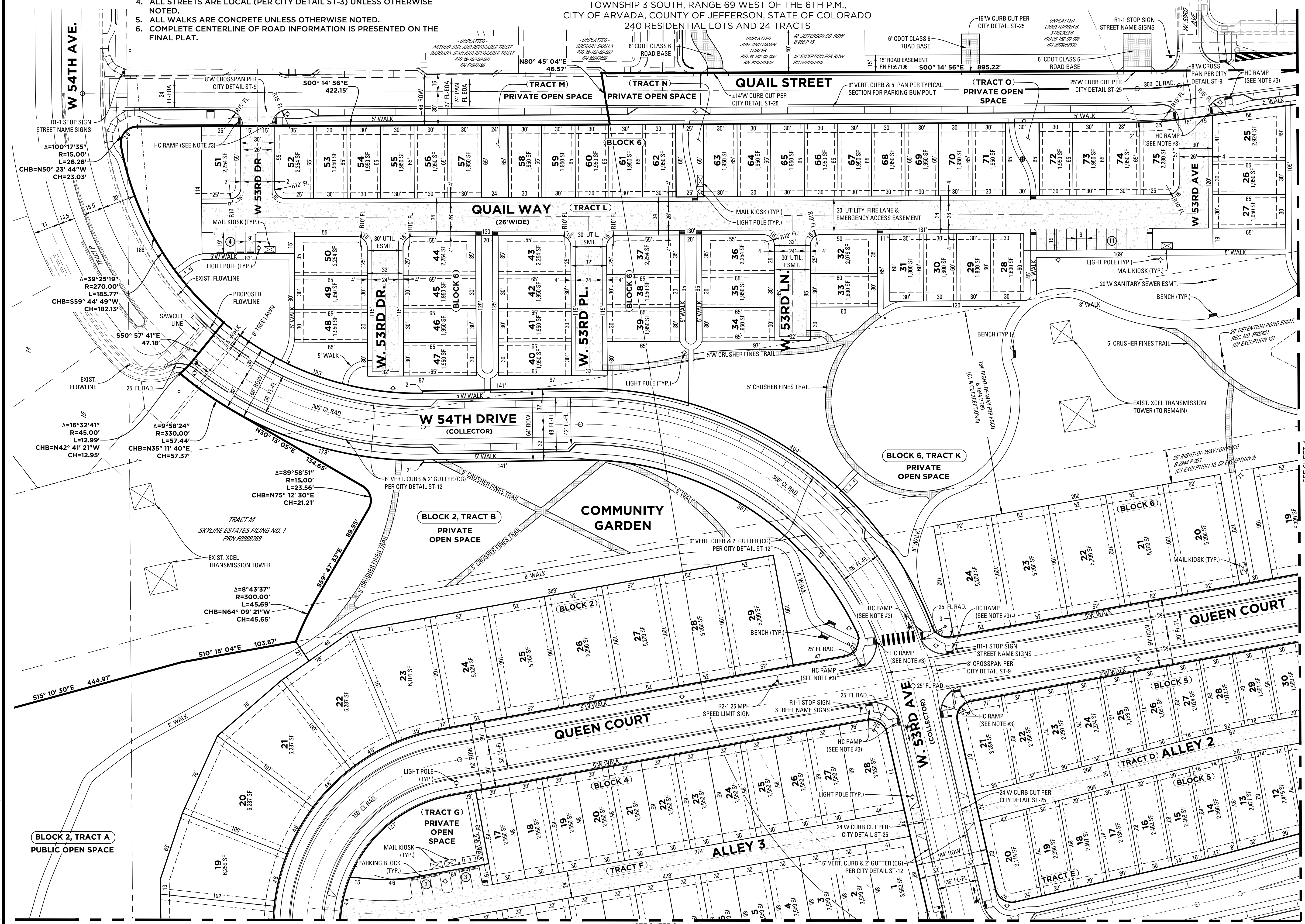
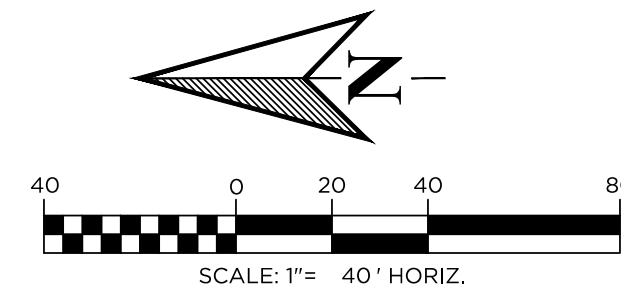
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NOTES

1. ALL CURB AND GUTTER SHALL BE MOUNTABLE CURB AND GUTTER (MG) PER CITY DETAIL ST-12 UNLESS OTHERWISE NOTED.
2. ALL FLOWLINE CURB RETURN RADII ARE 18' UNLESS OTHERWISE NOTED.
3. ALL HANDICAP RAMPS SHALL BE MID BLOCK CROSS WALK INTERSECTION ADA RAMP DETAIL (MR1)-TYPE III PER CITY DETAIL ST-19 UNLESS OTHERWISE NOTED.
4. ALL STREETS ARE LOCAL (PER CITY DETAIL ST-3) UNLESS OTHERWISE NOTED.
5. ALL WALKS ARE CONCRETE UNLESS OTHERWISE NOTED.
6. COMPLETE CENTERLINE OF ROAD INFORMATION IS PRESENTED ON THE FINAL PLAT.

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**FINAL DEVELOPMENT PLAN**  
 A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN A PART OF THE WEST HALF OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO 240 RESIDENTIAL LOTS AND 24 TRACTS



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 7333 South Arton Way  
 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REFERRAL COMMENTS	06-20-2019	KT
2.	CITY OF ARVADA COMMENTS	07-12-2019	LJL
3.	CITY OF ARVADA COMMENTS	08-22-2019	LJL
4.			
5.			
6.			

SHEET INFO:

## HASKINS STATION

### FINAL DEVELOPMENT PLAN

#### SITE PLAN (3 OF 4)

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**

DESIGNED BY:  
**KT**

SCALE:  
**1" = 40'**

DATE:  
**12.19.2018**

**5**  
 OF **51**

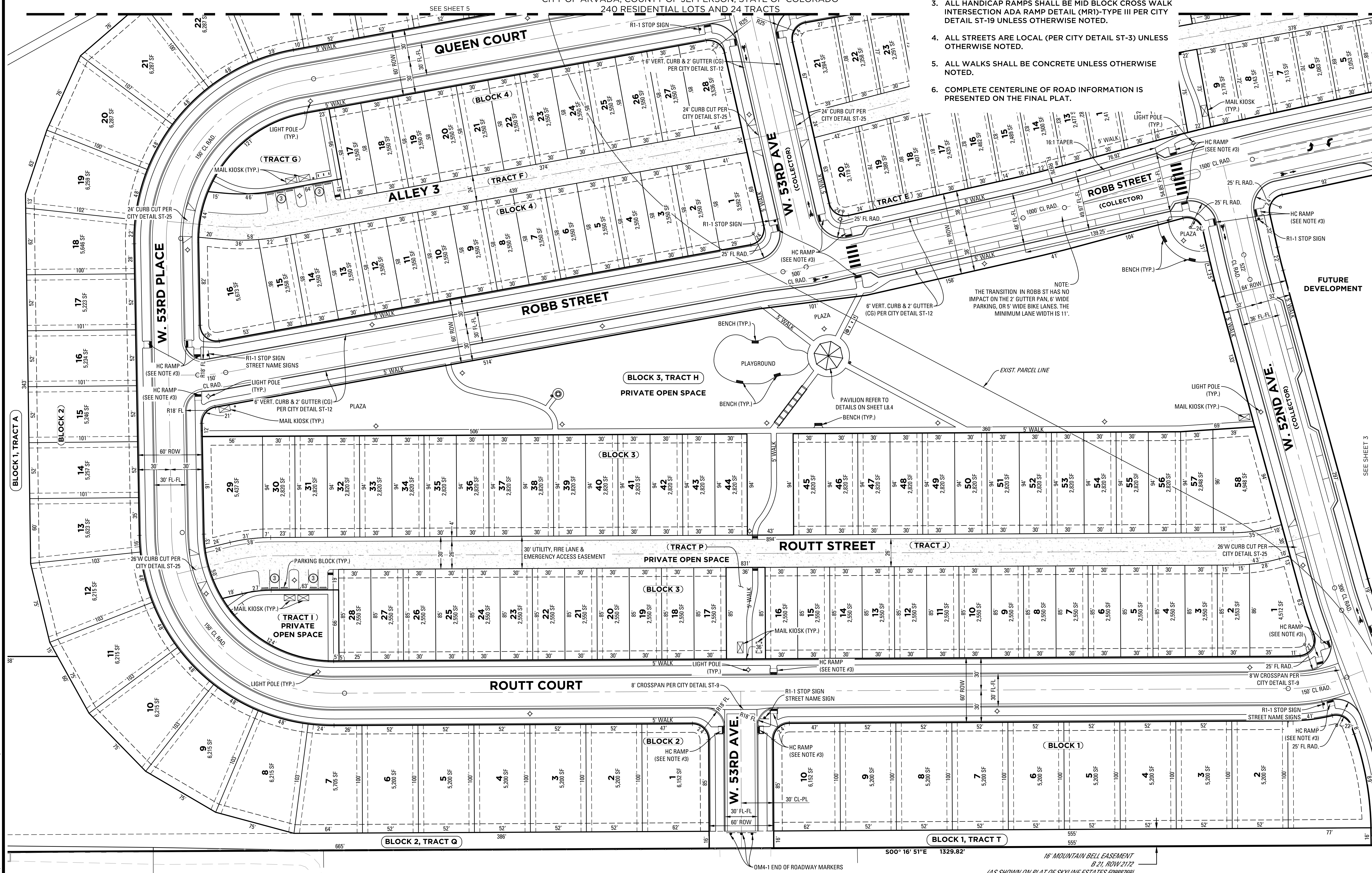
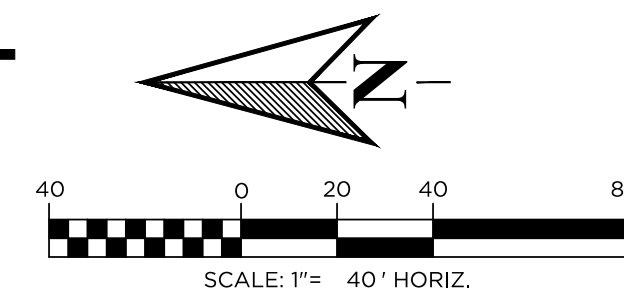
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Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:  
**F&M RIDGE, LLC**  
7353 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REFERRAL COMMENTS	06-20-2019	KT
2.	CITY OF ARVADA COMMENTS	07-12-2019	LJL
3.	CITY OF ARVADA COMMENTS	08-22-2019	LJL
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### SITE PLAN (4 OF 4)

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**

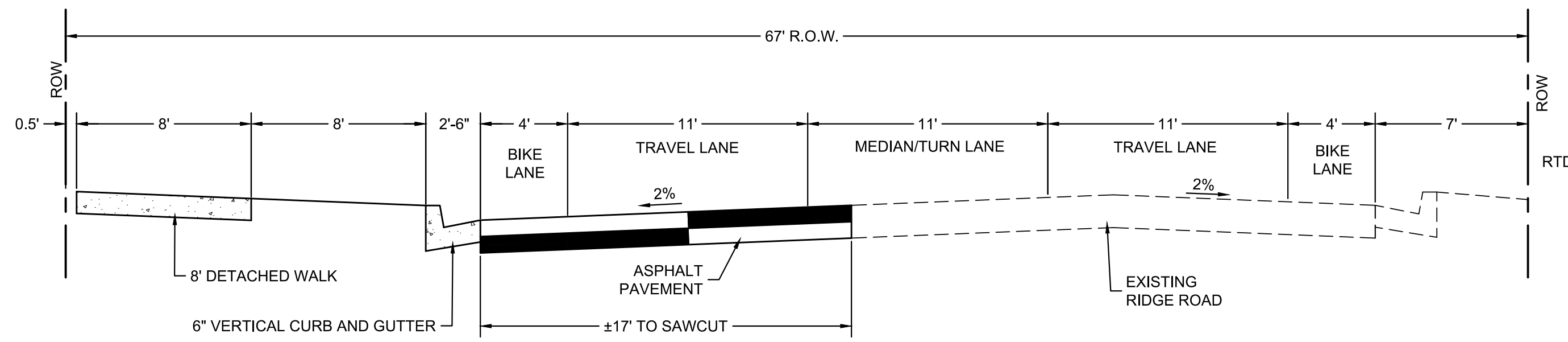
DESIGNED BY:  
**KT**

SCALE:  
**1" = 40'**

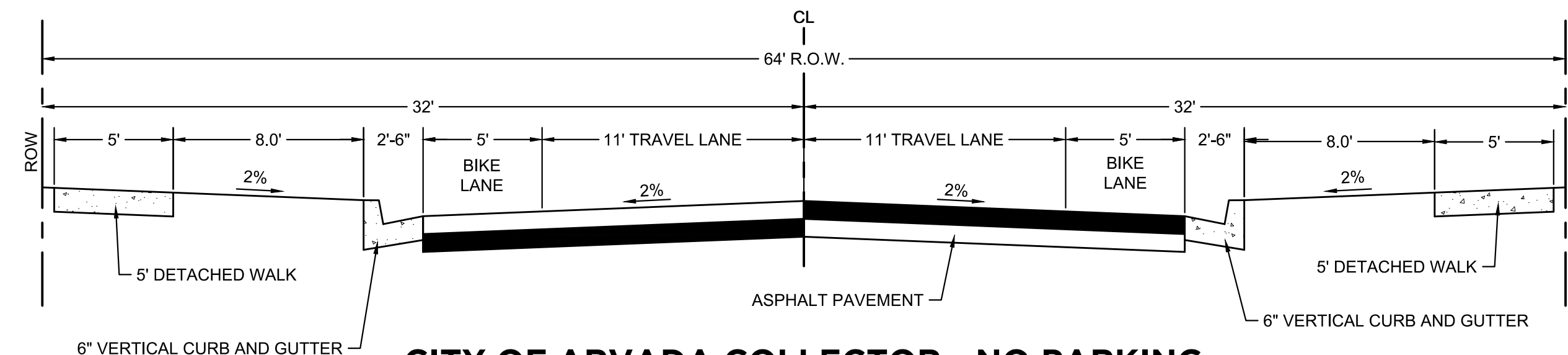
DATE:  
**12.19.2018**

# HASKINS STATION

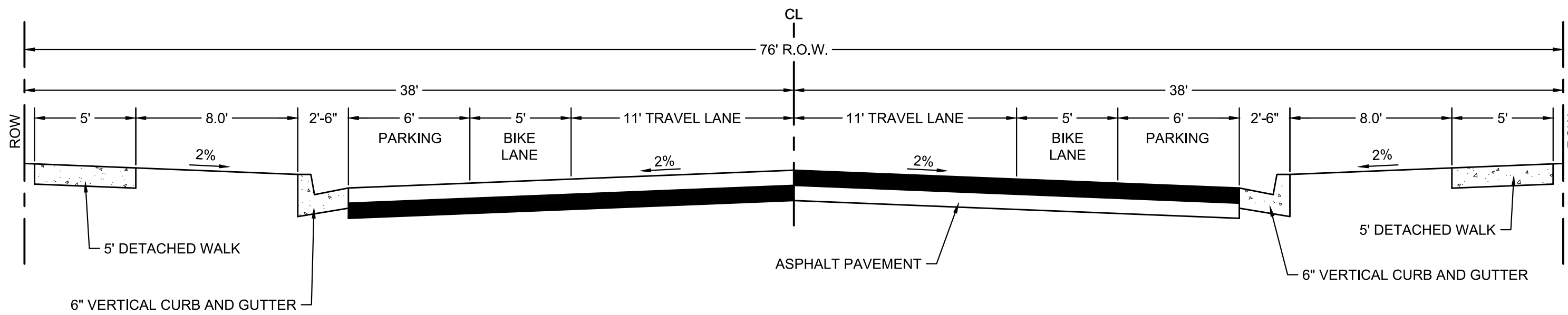
**FINAL DEVELOPMENT PLAN**  
 A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1,  
 RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN  
 A PART OF THE WEST HALF OF SECTION 16,  
 TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,  
 CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
 240 RESIDENTIAL LOTS AND 24 TRACTS



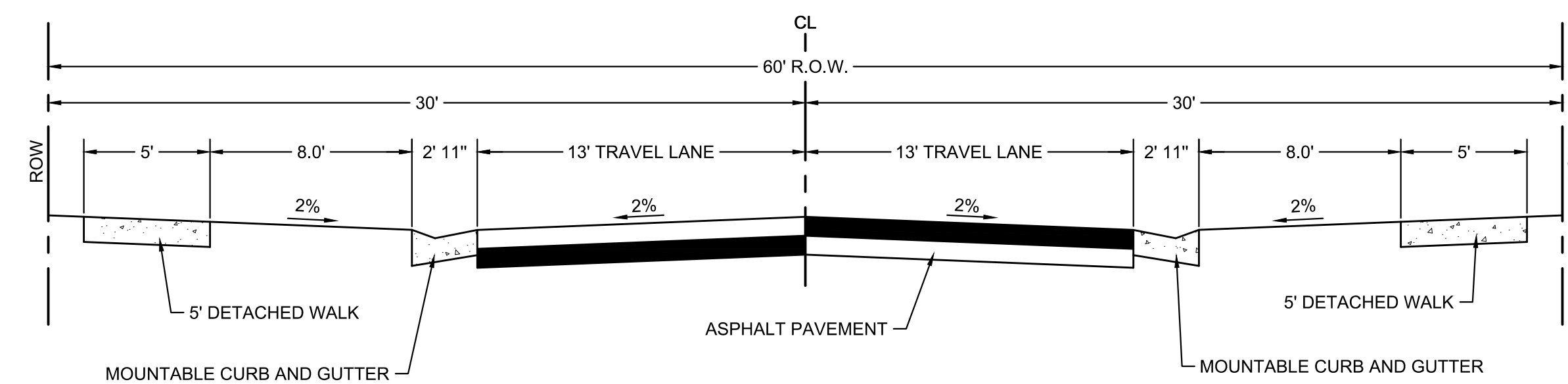
**MAJOR COLLECTOR**  
 (RIDGE ROAD WIDENING)  
 N.T.S.



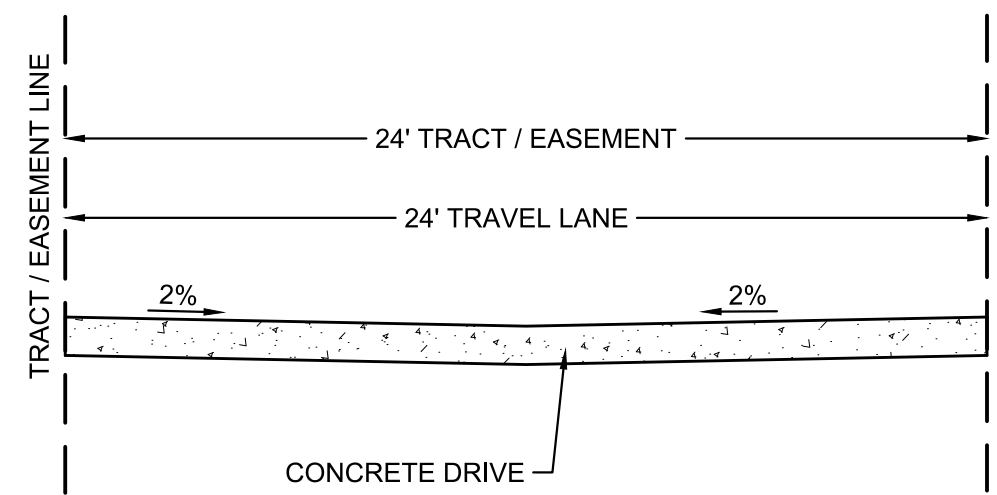
**CITY OF ARVADA COLLECTOR - NO PARKING**  
 (W. 52ND AVENUE, W. 53RD AVENUE, W. 54TH DRIVE)  
 N.T.S.



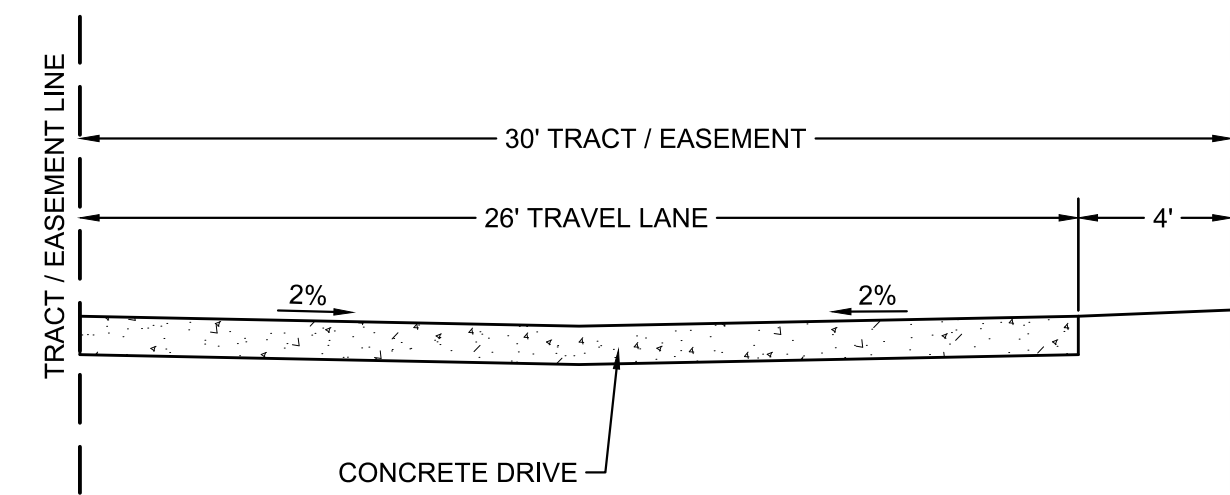
**CITY OF ARVADA COLLECTOR - PARALLEL PARKING**  
 (W. 52ND AVENUE, W. 54TH DRIVE, ROBB STREET)  
 N.T.S.



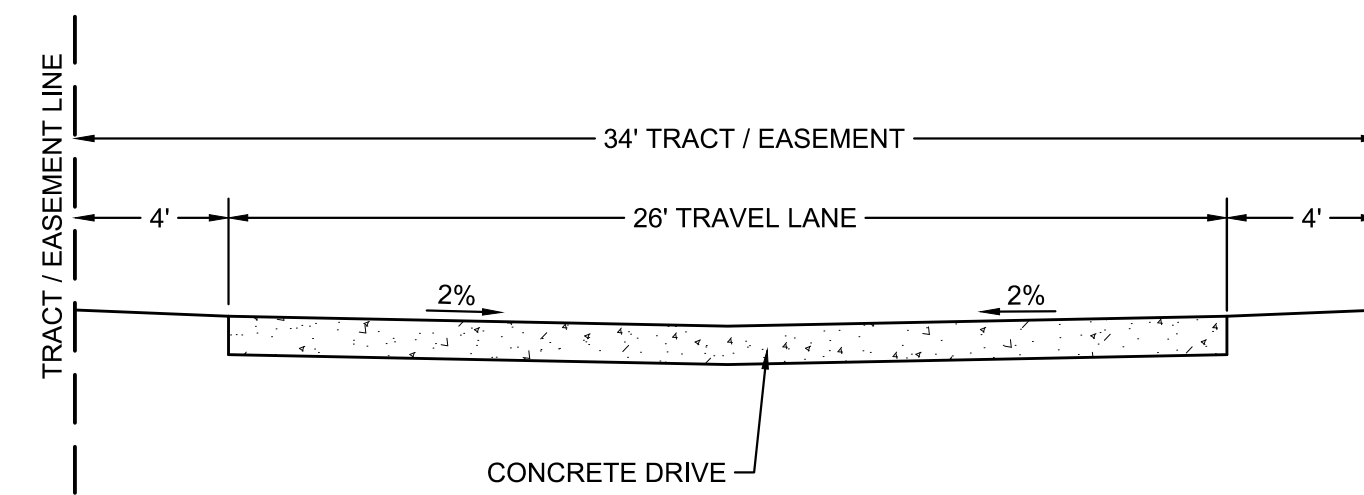
**CITY OF ARVADA LOCAL**  
 (W. 51ST DRIVE, W. 53RD PLACE, W. 54TH DRIVE, QUEEN COURT, ROUTT COURT,)  
 N.T.S.



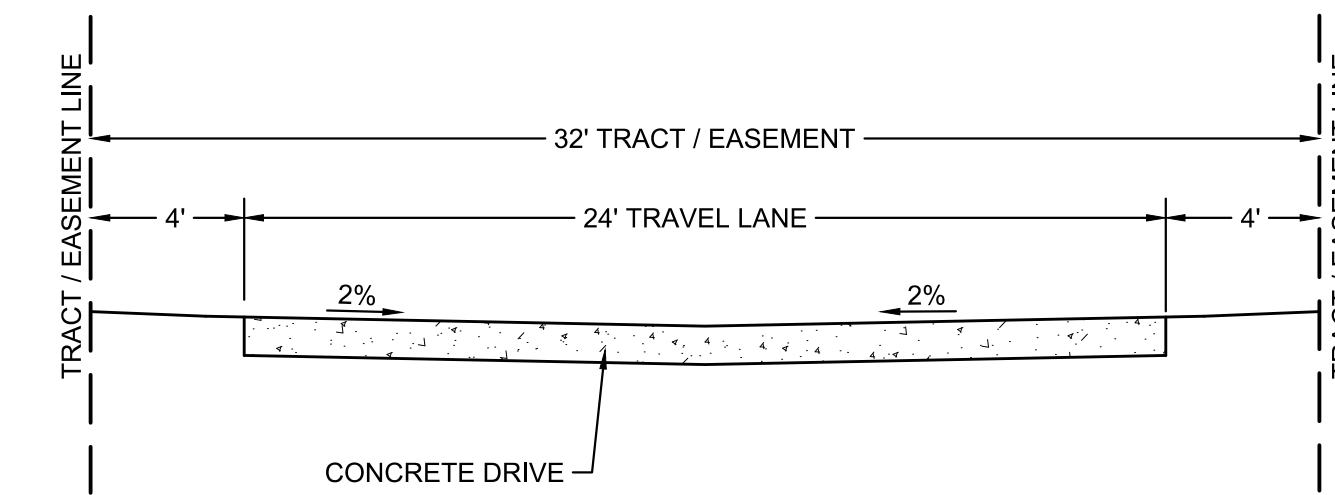
**PRIVATE ALLEY TYPE 1 - NO PARKING**  
 (ALLEY 2, ALLEY 3)  
 N.T.S.



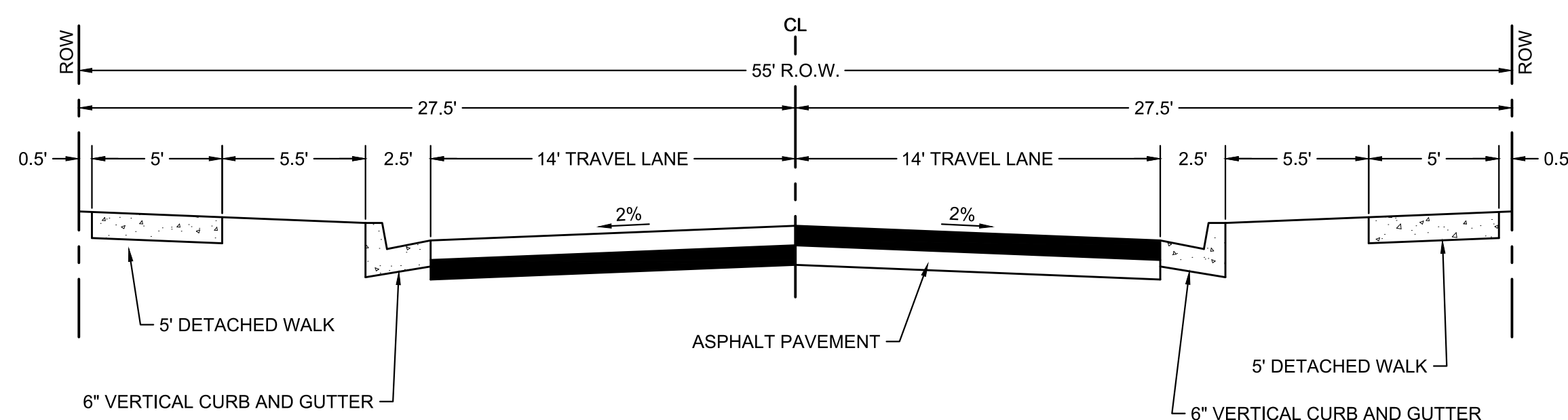
**PRIVATE ALLEY TYPE 2 - NO PARKING**  
 (ALLEY 1, W. 53RD AVENUE, ROUTT STREET)  
 N.T.S.



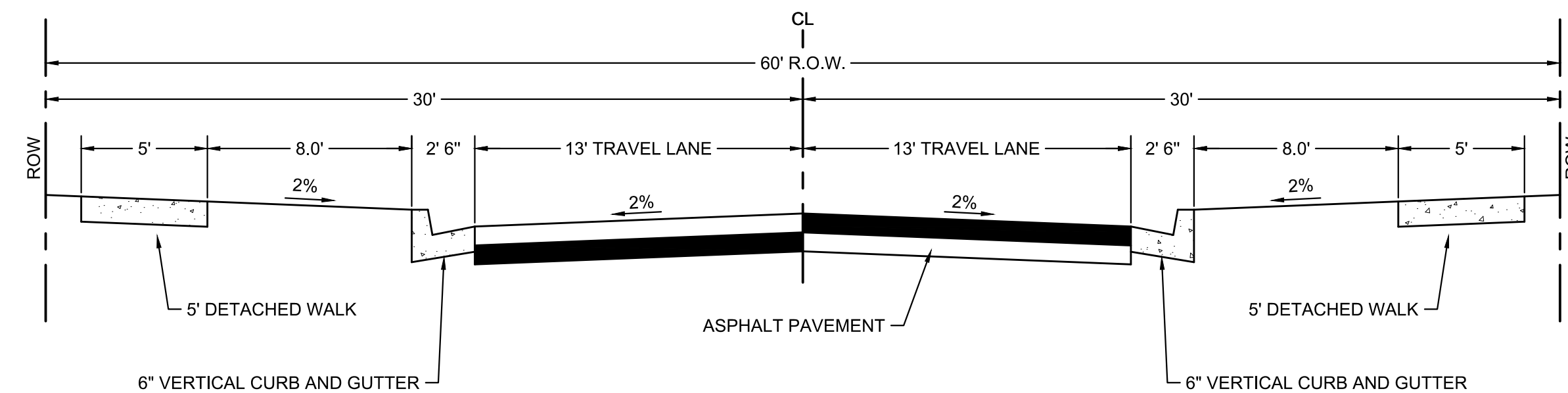
**PRIVATE ALLEY TYPE 3 - NO PARKING**  
 (QUAIL WAY)  
 N.T.S.



**PRIVATE ALLEY TYPE 4 - NO PARKING**  
 (W. 53RD DRIVE, W. 53RD PLACE, W. 53RD LANE)  
 N.T.S.



**MODIFIED LOCAL**  
 (W. 52ST DRIVE WEST OF ROUTT COURT)  
 N.T.S.



**CITY OF ARVADA LOCAL (VERTICAL CURB)**  
 (ROBB STREET NORTH OF W. 53RD AVE)  
 N.T.S.

ENGINEERING:  
  
**KT ENGINEERING**  
 12500 W. 58th Ave. #230  
 Arvada, CO 80002  
 P: 720.638.5190  
 www.kting.net

ARCHITECTURE / PLANNING:  
  
**architecture design collaborative**  
 10113 Inverness Main St. Suite T  
 Englewood, Colorado 80112  
 www.adcollaborative.com  
 303.351.0040

**Consilium Design**  
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PREPARED FOR:  
**SSM RIDGE, LLC**  
 7353 South Atton Way  
 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05-20-2019	KT	REFERRAL COMMENTS
2.	07-12-2019	LJL	CITY OF ARVADA COMMENTS
3.	08-22-2019	LJL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			
7.			
8.			

SHEET INFO:

**HASKINS STATION**  
 FINAL DEVELOPMENT PLAN  
 TYPICAL STREET SECTIONS (1 OF 2)

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**  
 DESIGNED BY:  
**KT**

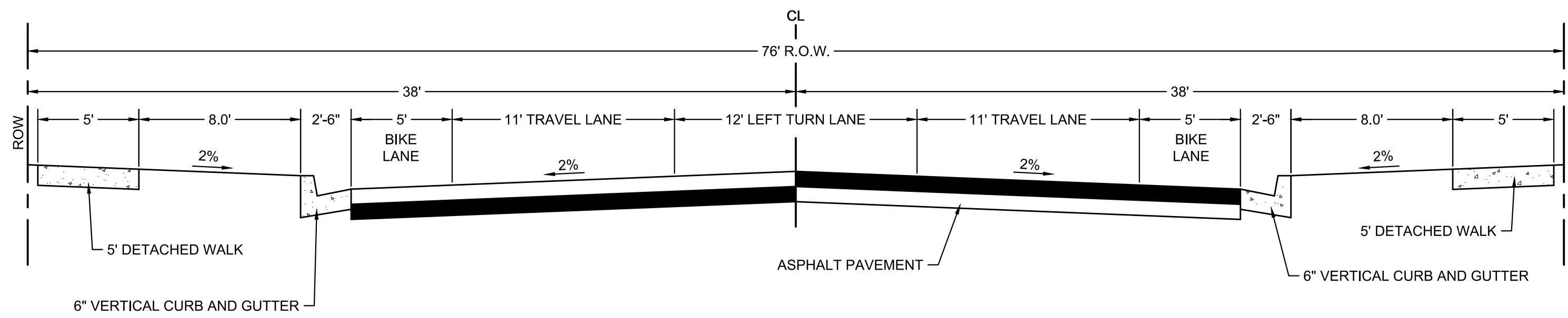
SCALE:  
**1" = N/A'**

SUBMITTED ON:  
**12.19.2018**

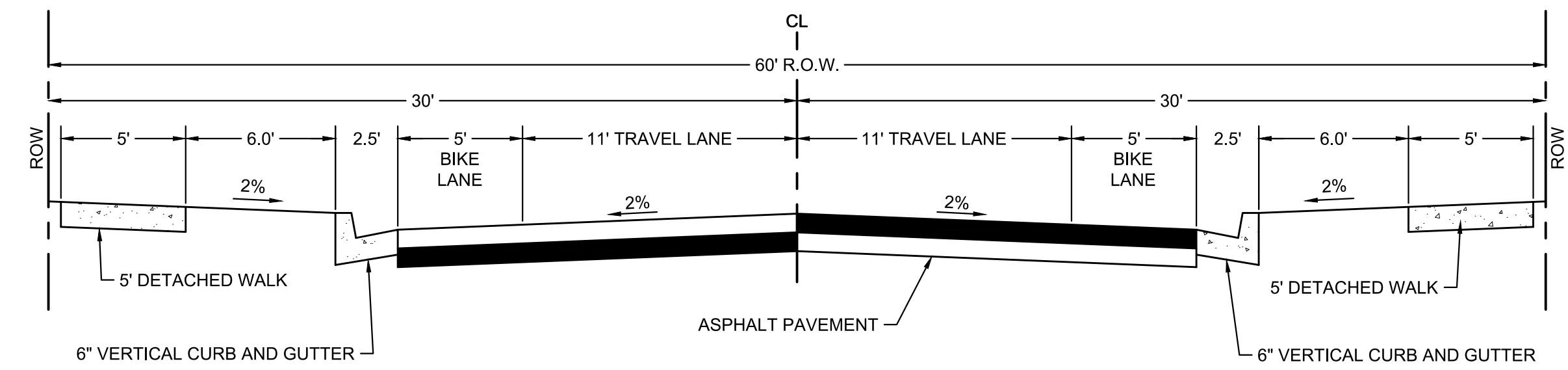
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# HASKINS STATION

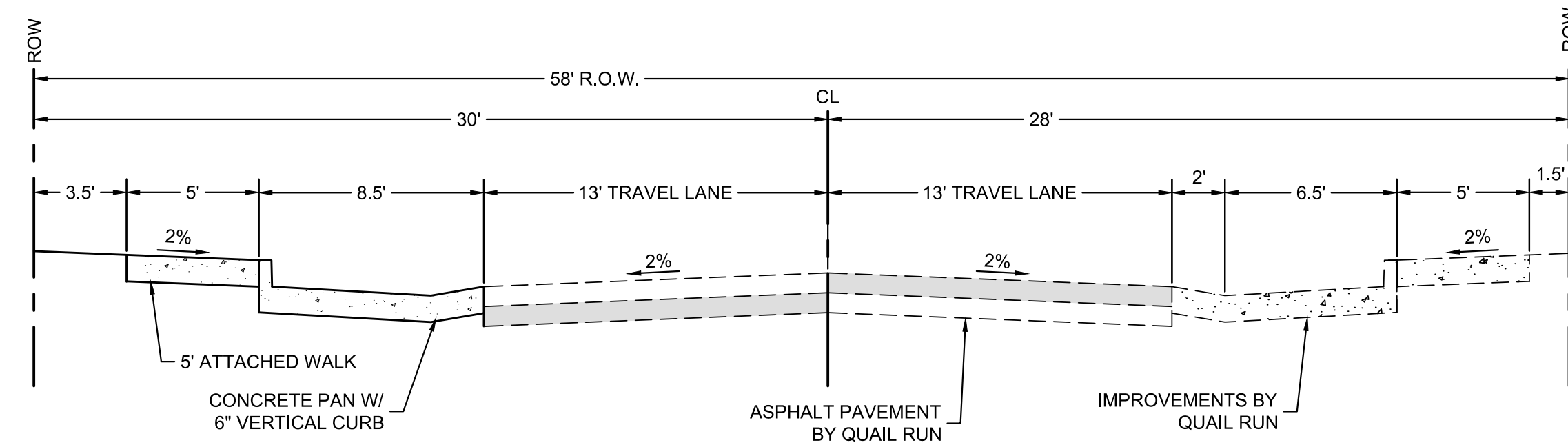
**FINAL DEVELOPMENT PLAN**  
 A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1,  
 RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN  
 A PART OF THE WEST HALF OF SECTION 16,  
 TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,  
 CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
 240 RESIDENTIAL LOTS AND 24 TRACTS



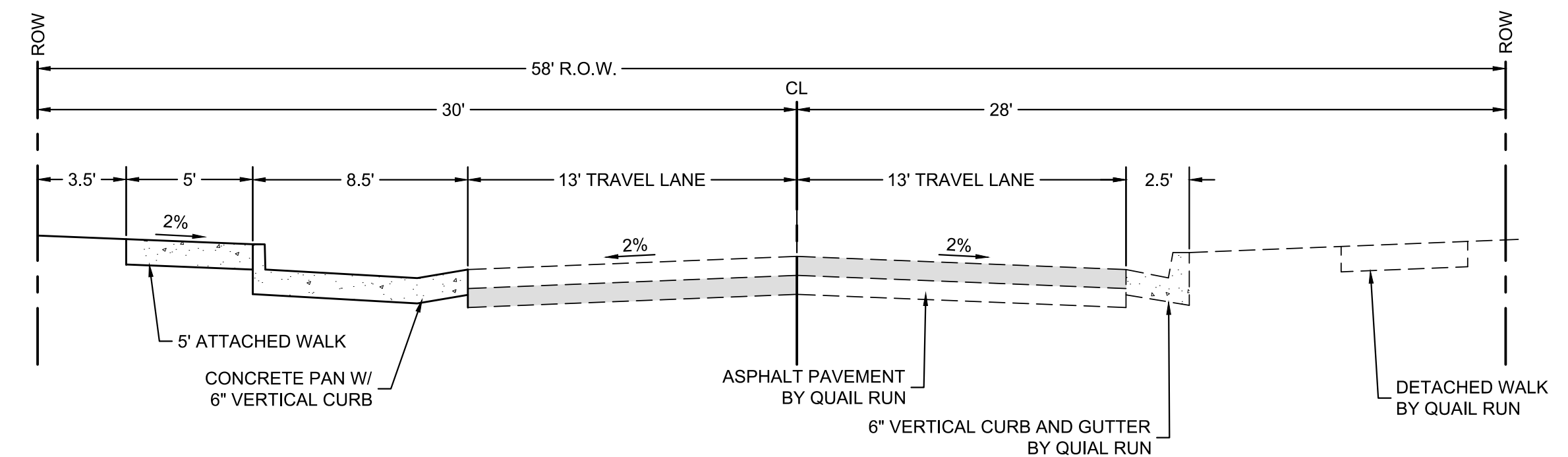
**CITY OF ARVADA COLLECTOR - TWO WAY LEFT TURN LANE**  
 (ROBB STREET)  
 N.T.S.



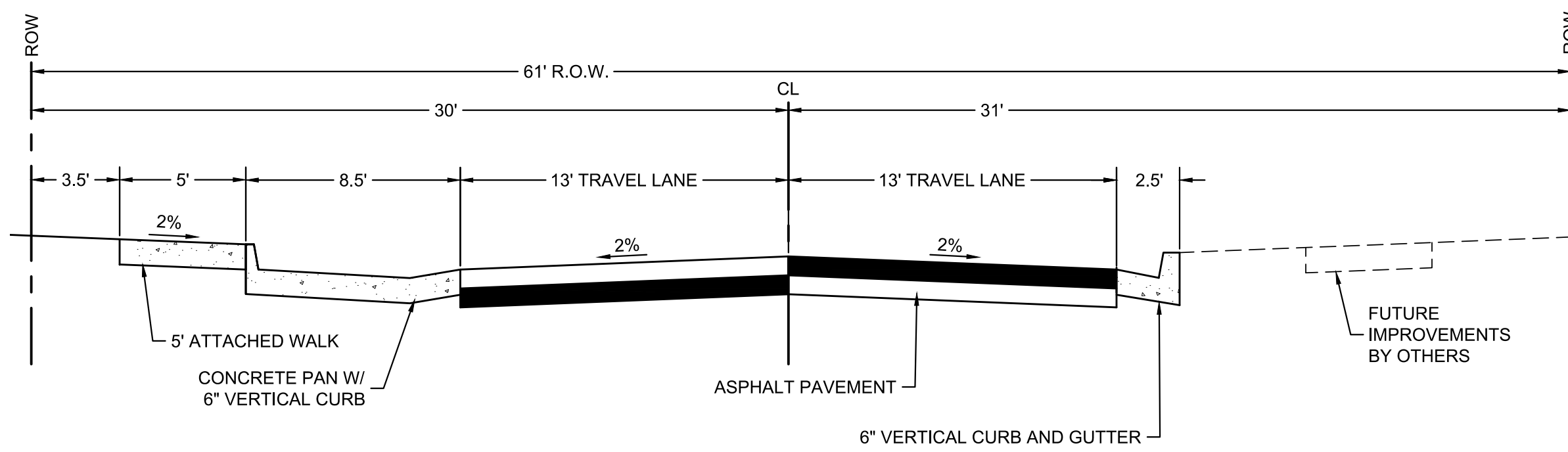
**CITY OF ARVADA LOCAL**  
 (W. 54TH DRIVE WHERE IT MEETS W. 54TH AVENUE)  
 N.T.S.



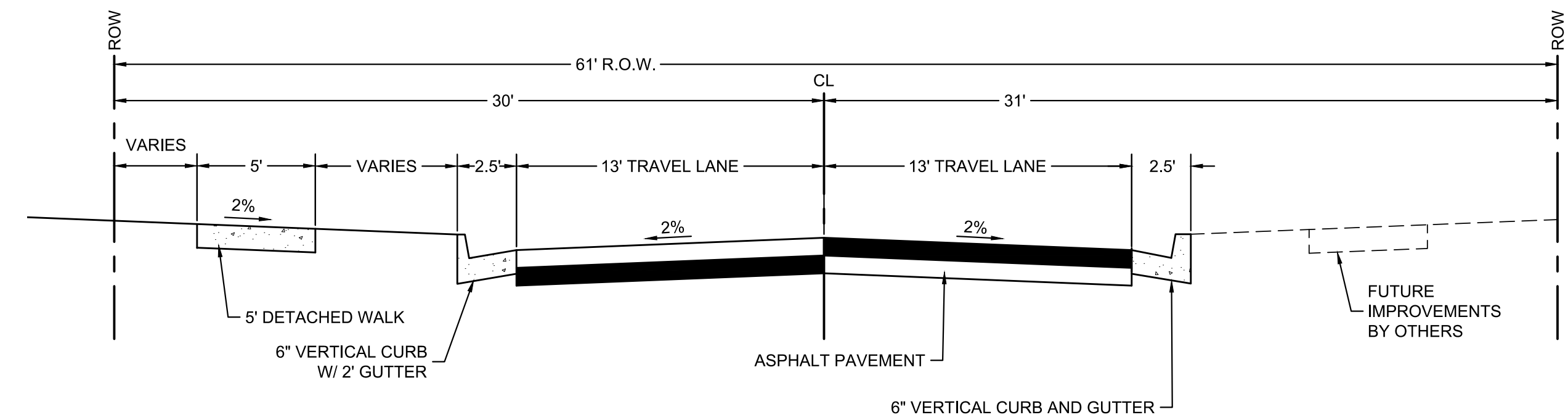
**MODIFIED LOCAL W/ PARALLEL PARKING BOTH SIDES**  
 (QUAIL STREET - NORTH OF W. 53RD PLACE)  
 N.T.S.



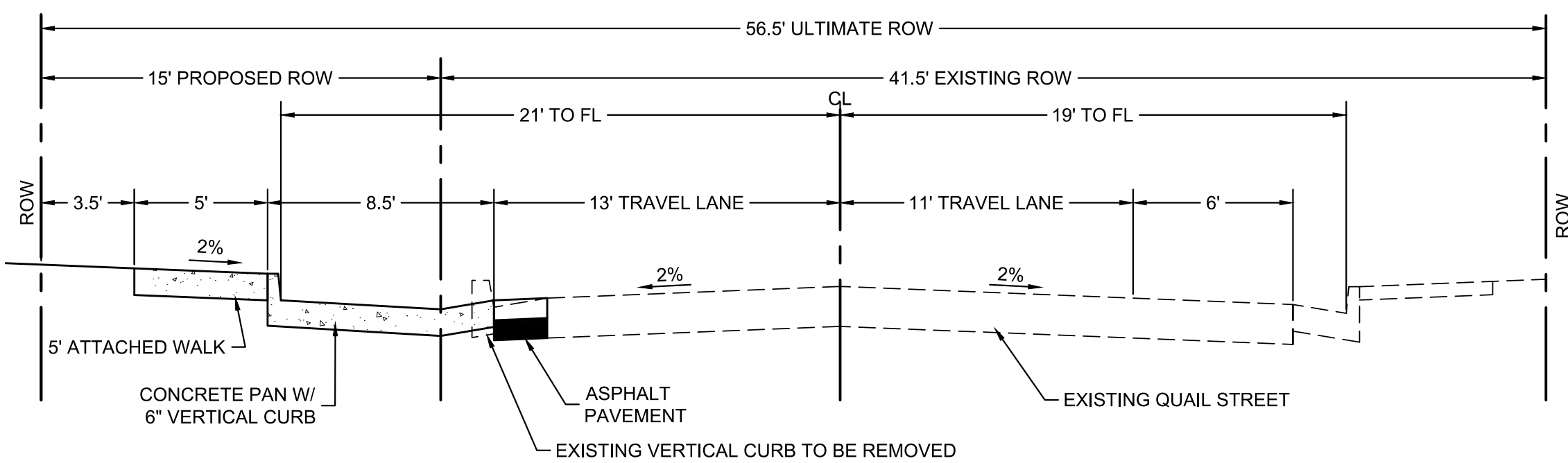
**MODIFIED LOCAL PARALLEL PARKING WEST SIDE**  
 (QUAIL STREET - NORTH OF W. 53RD PLACE)  
 N.T.S.



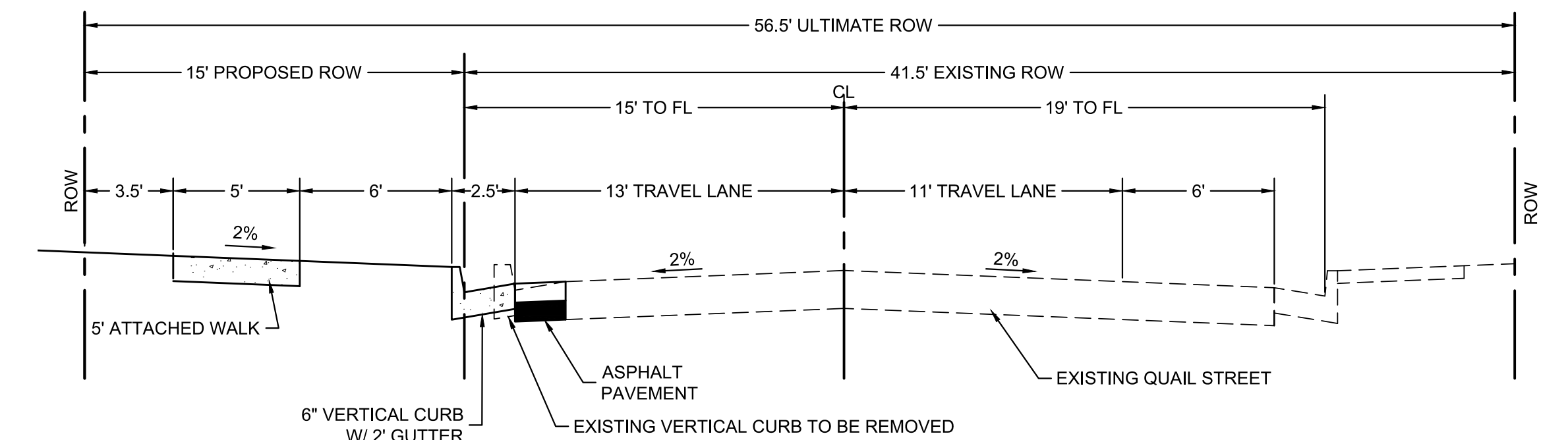
**CITY OF ARVADA LOCAL W/ PARALLEL PARKING**  
 (QUAIL STREET - W. 53RD PLACE TO W. 53RD AVENUE)  
 N.T.S.



**CITY OF ARVADA LOCAL**  
 (QUAIL STREET - W. 53RD PLACE TO W. 53RD AVENUE)  
 N.T.S.



**MODIFIED CITY OF WHEAT RIDGE LOCAL W/ PARALLEL PARKING**  
 (QUAIL STREET - W. 53RD AVENUE TO RIDGE ROAD)  
 N.T.S.



**MODIFIED CITY OF WHEAT RIDGE LOCAL W/O PARKING**  
 (QUAIL STREET - W. 53RD AVENUE TO RIDGE ROAD)  
 N.T.S.

ENGINEERING:  
  
**KT ENGINEERING**  
 12500 W. 58th Ave #230  
 Arvada, CO 80002  
 P: 720.638.5190  
 www.kteng.net

ARCHITECTURE / PLANNING:  
  
**adco**  
 architecture design collaborative  
 10111 Inverness Main St. Suite T  
 Englewood, Colorado 80112  
 www.adcollaborative.com  
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 www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
 7353 South Alton Way  
 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05-20-2019	KT	REFERRAL COMMENTS
2.	07-12-2019	JL	CITY OF ARVADA COMMENTS
3.	08-22-2019	JL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			

SHEET INFO:

**HASKINS STATION**  
 FINAL DEVELOPMENT PLAN  
 TYPICAL STREET SECTIONS (2 OF 2)

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**  
 DESIGNED BY:  
**KT**

SCALE:  
**1" = N/A'**

SUBMITTED ON:  
**12.19.2018**

**8**  
 OF 51

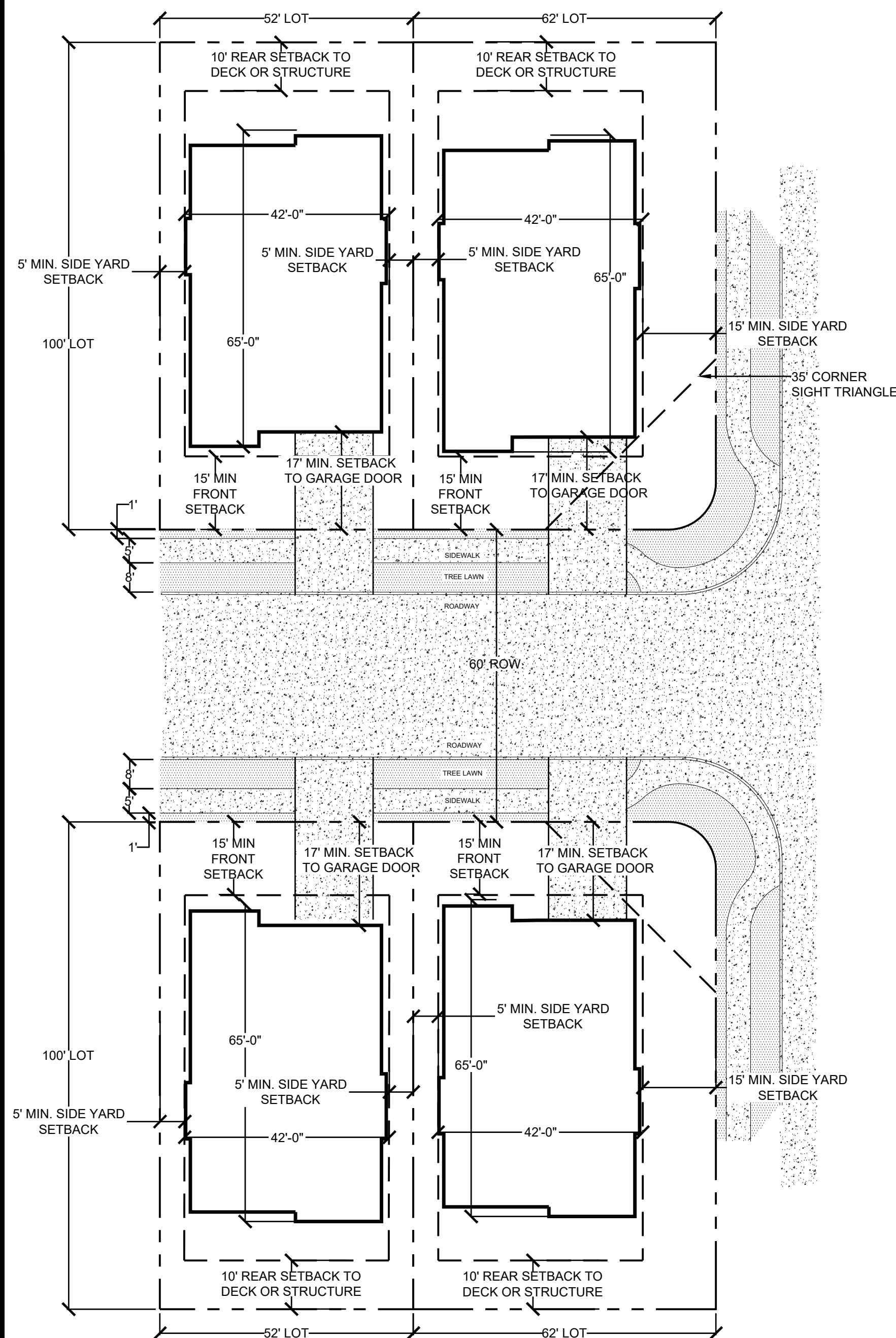
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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



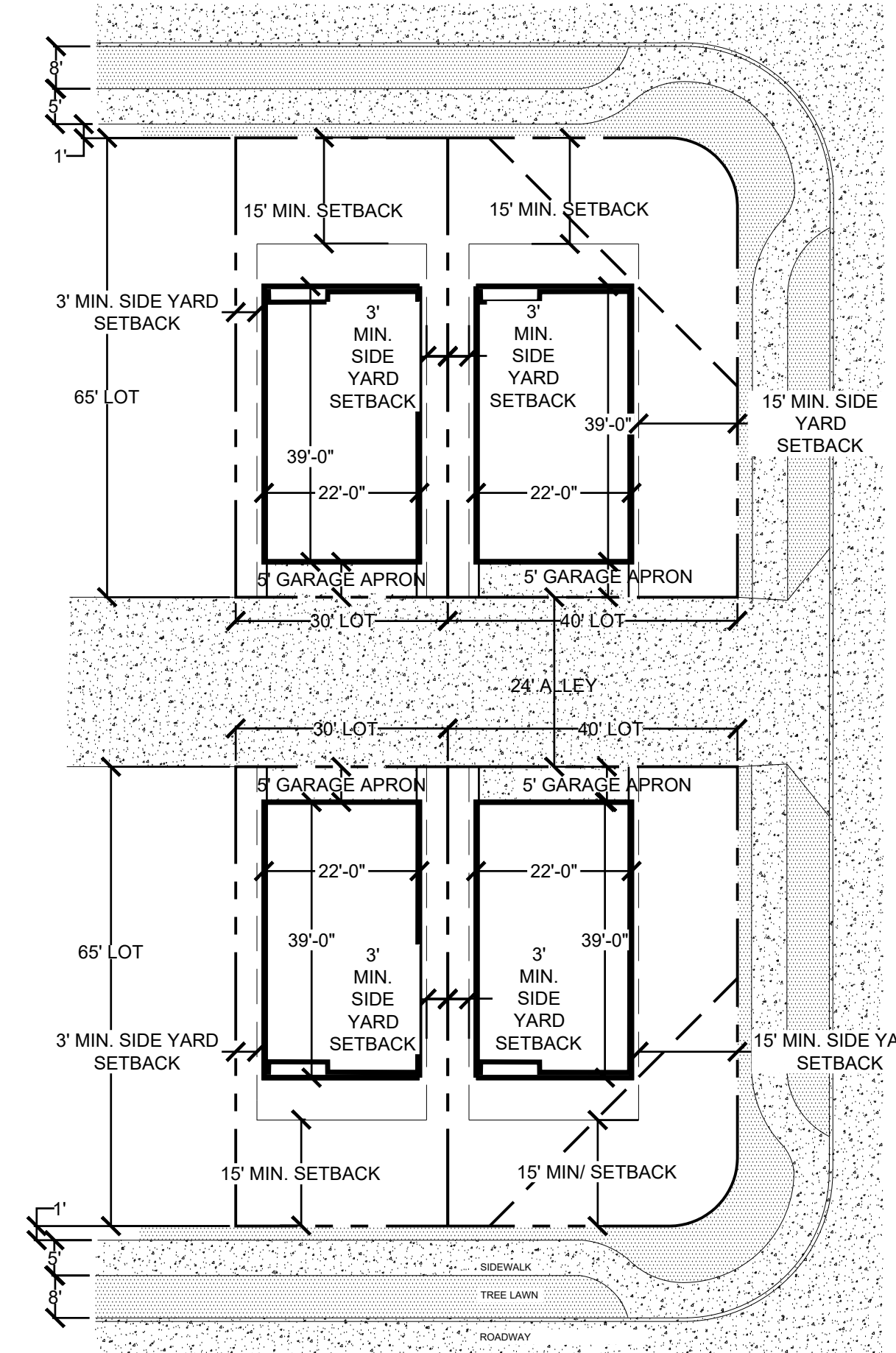
### SINGLE FAMILY DETACHED PATIO HOME - 52'x100' LOT. STREET ACCESS

LOTS 1-10: BLOCK 1  
LOTS 1-29: BLOCK 2  
LOTS 8-24: BLOCK 6

Single Family Detached	
Minimum Lot Area	5,200 - SF.
Average Lot Area	5,486 - SF.
Lot Width/Length	52' X 100' (Corner Lots 62' X 100')
Minimum Setbacks:	
Front:	
Front Loaded Garage to P.L.	17 - FT.
Side Loaded Garage to P. L.	15 - FT.
Living Area to P.L.	15 - FT.
Side:	
Side	5 - FT.
Side on Corner	15 - FT.
Rear:	
Any Deck or Structures	10 - FT.
Maximum Lot Coverage (Double Story)	65%.
Maximum Lot Coverage (Single Story)	65%.
Maximum Building Height	35'

#### NOTES:

- THE FOLLOWING ARE THE ONLY ALLOWED ENCROACHMENTS:
1. UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE SHALL NOT BE COUNTED FOR THE PURPOSE OF DETERMINING LOT COVERAGE.
  2. ONE MINI-STRUCTURE PER LOT, NOT EXCEEDING 200 SF OR 12 FT IN HEIGHT, SHALL NOT BE COUNTED FOR THE PURPOSE OF DETERMINING LOT COVERAGE.
  3. WINDOW WELLS NOT EXCEEDING 15 SF AND NOT ENCROACHING MORE THAN 3 FT INTO A SIDE LOT EASEMENT, AND CANTILEVERS AND EAVES NOT ENCROACHING MORE THAN 2 FT INTO A SIDE LOT EASEMENT ARE ALLOWED UNLESS OTHERWISE PROHIBITED BY DEVELOPMENT CODE PROVISIONS, BUILDING CODE REGULATIONS OR OTHER LAW.



NOTE: TREE LAWN ALONG QUAIL STREET IS 6'

### SINGLE FAMILY HOME - 30'x65' LOT - ALLEY ACCESS

LOTS 1-7, LOTS 25-75: BLOCK 6  
LOTS 1-40: BLOCK 5

Compact Single Family	
Minimum Lot Area	1,950 - SF.
Average Lot Area	2,131 - SF.
Lot Width/Length	30' X 65' (Corner Lots 40' X 65')
Minimum Setbacks:	
Front:	
Living Area to P.L.	15 - FT.
Side:	
Side	3 - FT.
Side on Corner	15 - FT.
Rear:	
Rear loaded Garage to P.L.	5 - FT.
Maximum Lot Coverage (Multi Story)	60%
Maximum Building Height	35'

#### NOTES:

- THE FOLLOWING ARE THE ONLY ALLOWED ENCROACHMENTS:
1. UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE SHALL NOT BE COUNTED FOR THE PURPOSE OF DETERMINING LOT COVERAGE.
  2. AIR CONDITIONERS AND OTHER UTILITY EQUIPMENT WITHIN INTERIOR SIDE YARD SETBACKS MUST BE WALL MOUNTED. FENCES NOT ALLOWED. NO EXCEPTIONS.
  3. EAVES, CORNICES, AND ORNAMENTAL FEATURES NOT ENCROACHING MORE THAN ONE (1) FOOT INTO A SIDE LOT EASEMENT ARE ALLOWED UNLESS OTHERWISE PROHIBITED BY LAND DEVELOPMENT CODE PROVISIONS, BUILDING CODE REGULATIONS OR OTHER LAW.
  4. SEE CCR FOR MAINTENANCE ACCESS EASEMENTS.

ENGINEERING:



**KT ENGINEERING**  
12520 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:

**adco**  
architecture design collaborative  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040



**Consilium Design**  
LAND PLANNING AND  
LANDSCAPE ARCHITECTURE  
2755 South Locust St. Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	BY	DATE	REVISION DESCRIPTION
1.	KLW	05/20/19	REVISIONS PER CITY COMMENTS
2.	KLW	07/12/19	REVISIONS PER CITY COMMENTS
3.	KLW	08/22/19	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			
7.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
TYPICAL LOT COVERAGE

PROJECT NO:

**0049-1613**

DRAWN BY:

**XXX**

DESIGNED BY:

**XXX**

SCALE:

**NA**

SUBMITTED ON:

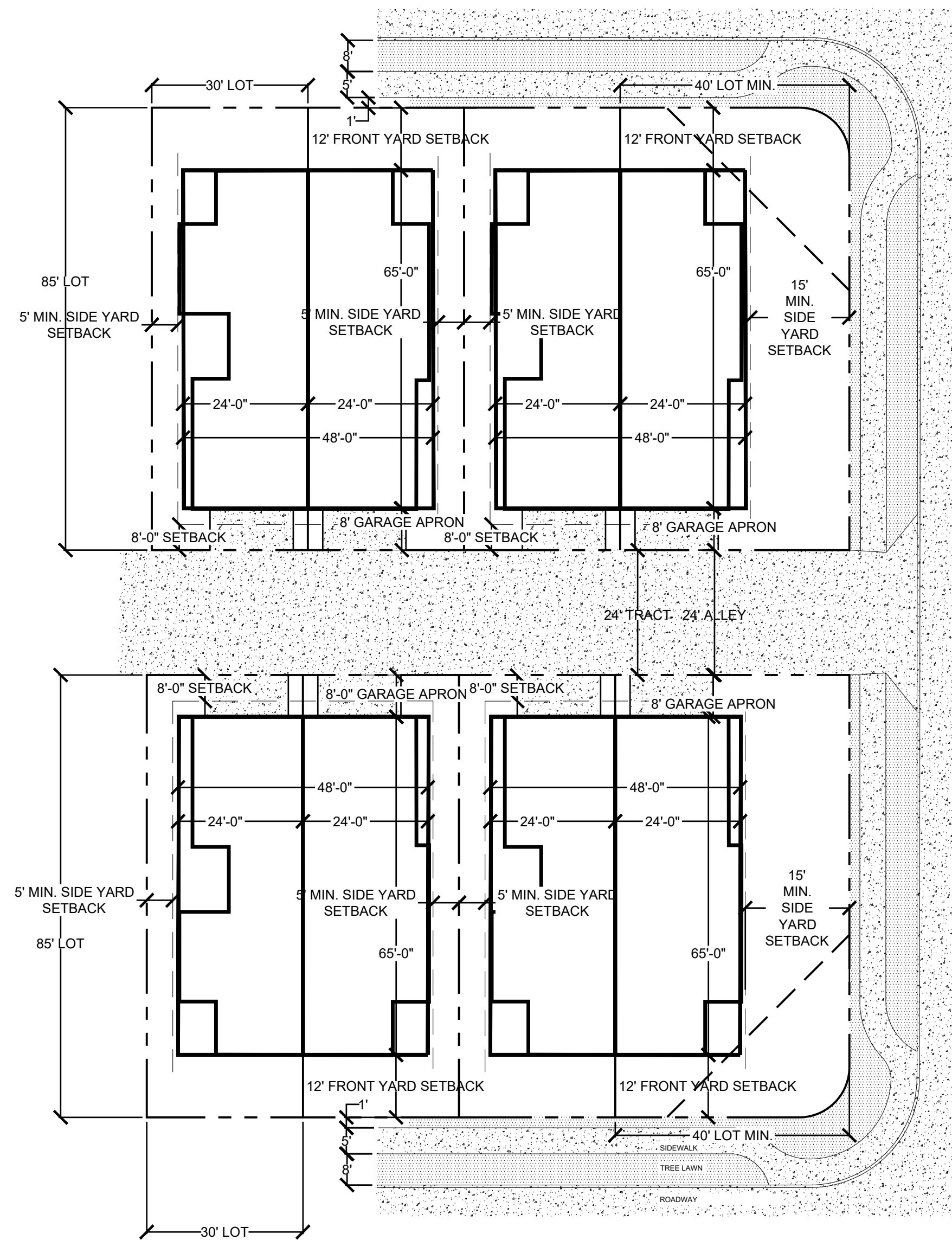
**08.22.2019**

**9**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

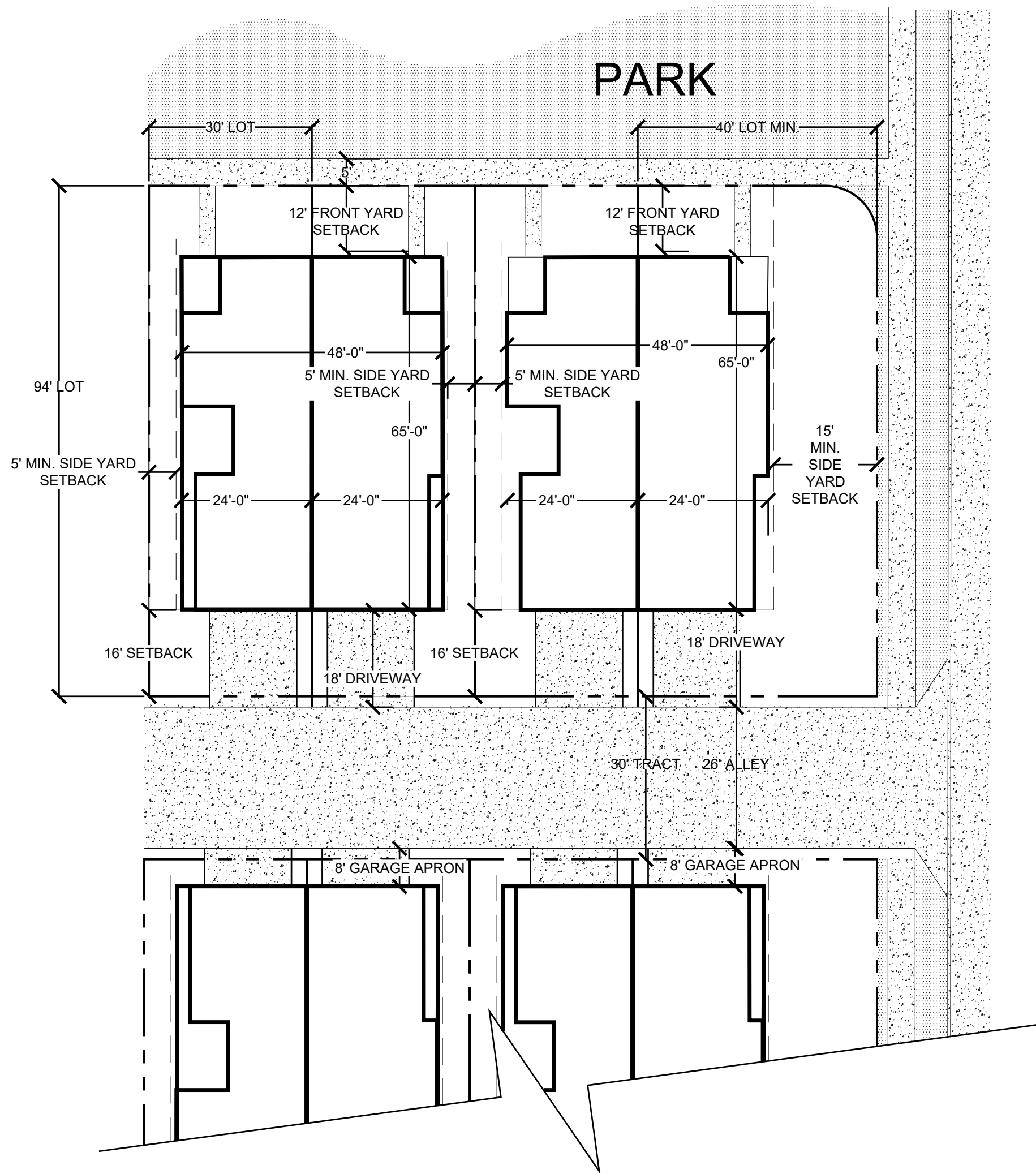
A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



DUPLEX HOME (BLOCK 4 / TRACT F) - 30'x85' LOT ALLEY ACCESS

LOTS 1-28: BLOCK 3  
LOTS 1-28: BLOCK 4

	Duplex
Minimum Lot Area	5,100 - SF.
Average Lot Area	5,571 - SF.
Lot Width/Length	30' X 85' (CORNER LOTS 40' X 85' MIN.)
Minimum Setbacks:	
Front: Living Area to P.L.	12 - FT.
Side: Side Side (Internal) Side on Corner	5 - FT. 0 - FT. 15 - FT.
Rear: Rear Loaded Garage to P.L.	8-FT
Maximum Lot Coverage (Double Story)	68%
Maximum Building Height	35'



DUPLEX HOME (BLOCK 3 / TRACT J) - 30'x94' LOT ALLEY ACCESS WITH DRIVEWAY

LOTS 29-58: BLOCK 3

	Duplex
Minimum Lot Area	5,100 - SF.
Average Lot Area	5,571 - SF.
Lot Width/Length	30' X 94' (CORNER LOTS 40' X 94' MIN)
Minimum Setbacks:	
Front: Living Area to P.L. at Park	12 - FT.
Side: Side Side (Internal) Side on Corner	5 - FT. 0 - FT. 15 - FT.
Rear: Rear Loaded Garage to P.L.	16 - FT.
Maximum Lot Coverage (Double Story)	68%
Maximum Building Height	35'

NOTES:

- THE FOLLOWING ARE ALLOWED ONLY IN ENCROACHMENTS:
- UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE SHALL NOT BE COUNTED FOR THE PURPOSE OF DETERMINING LOT COVERAGE.
  - ONE MINI-STRUCTURE PER LOT, NOT EXCEEDING 200 SF OR 12 FT IN HEIGHT, SHALL NOT BE COUNTED FOR THE PURPOSE OF DETERMINING LOT COVERAGE.
  - WINDOW WELLS NOT EXCEEDING 15 SF AND NOT ENCROACHING MORE THAN 3 FT INTO A SIDE LOT EASEMENT, AND CANTILEVERS AND EAVES NOT ENCROACHING MORE THAN 2 FT INTO A SIDE LOT EASEMENT ARE ALLOWED UNLESS OTHERWISE PROHIBITED BY DEVELOPMENT CODE PROVISIONS, BUILDING CODE REGULATIONS OR OTHER LAW.

ENGINEERING:



**KT ENGINEERING**  
12520 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:

**acdc**  
architecture design collaborate  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.acdcollaborative.com  
303.351.0040



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2755 South Locust St. Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05.20.19	KLW	REVISIONS PER CITY COMMENTS
2.	07.12.19	KLW	REVISIONS PER CITY COMMENTS
3.	08.22.19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			
7.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
TYPICAL LOT COVERAGE

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

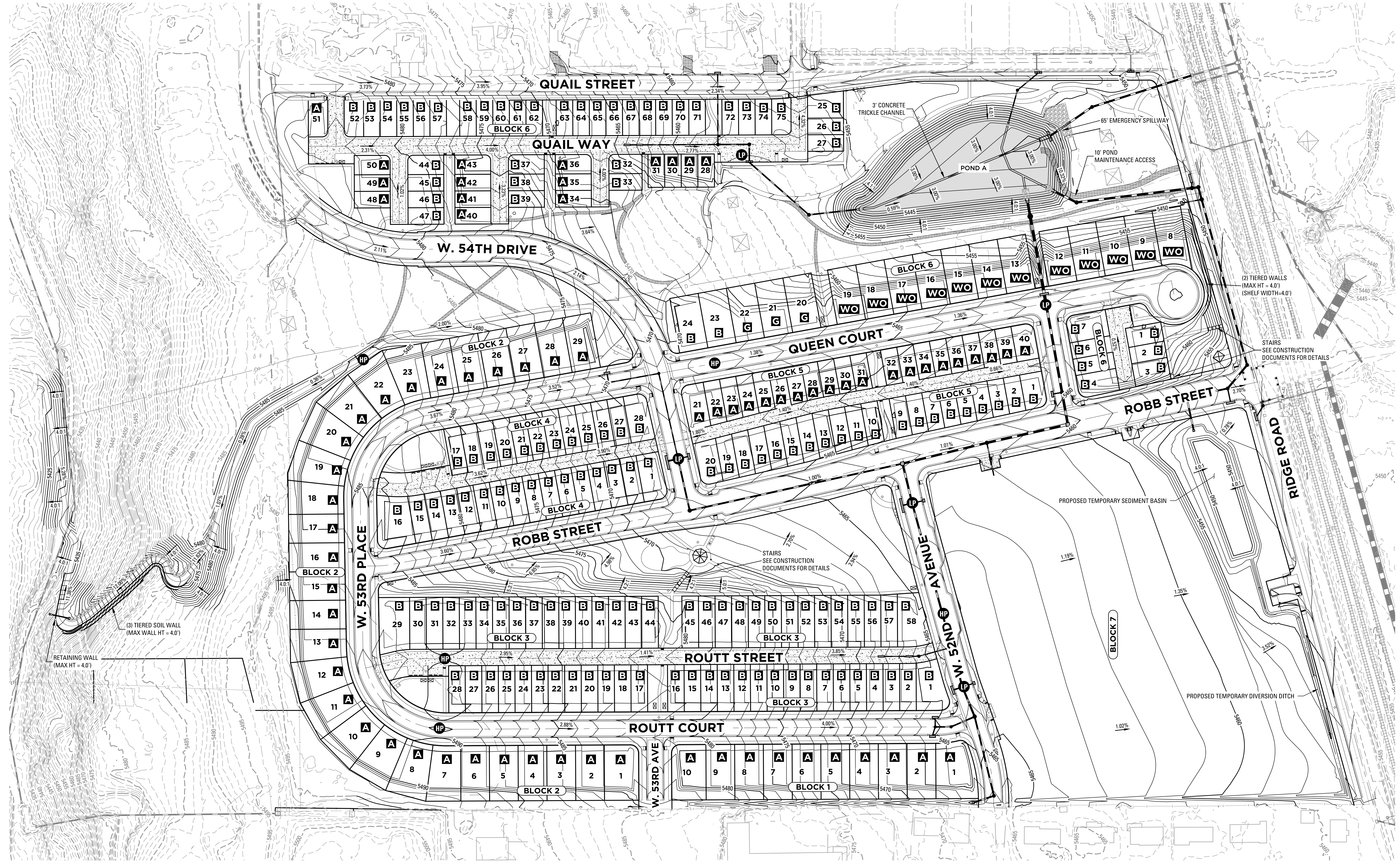
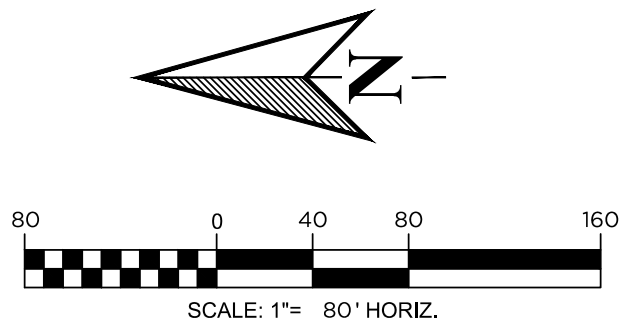
**10**  
OF 51

# HASKINS STATION

**FINAL DEVELOPMENT PLAN**  
 A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1,  
 RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN  
 A PART OF THE WEST HALF OF SECTION 16,  
 TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,  
 CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
 240 RESIDENTIAL LOTS AND 24 TRACTS

## LEGEND

- LP = LOW POINT
- HP = HIGH POINT
- 2.6% = PROPOSED GRADE
- 3.1 = PROPOSED SLOPE
- = EXISTING CONTOUR MINOR
- = EXISTING CONTOUR MAJOR
- = PROPOSED CONTOUR MINOR
- = PROPOSED CONTOUR MAJOR
- = PROPOSED DIVERSION DITCH
- A** = PROPOSED TYPE 'A' LOT GRADING
- B** = PROPOSED TYPE 'B' LOT GRADING
- T** = PROPOSED TRANSITION LOT GRADING
- G** = PROPOSED GARDEN LOT GRADING
- WO** = PROPOSED WALKOUT LOT GRADING



ENGINEERING:  
**KT**  
**KT ENGINEERING**  
 12520 W. 58th Ave #250  
 Arvada, CO 80002  
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 www.kting.net

ARCHITECTURE / PLANNING:  
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PREPARED FOR:  
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 7353 South Atton Way  
 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REFERRAL COMMENTS	05-20-2019	KT
2.	CITY OF ARVADA COMMENTS	07-12-2019	LJL
3.	CITY OF ARVADA COMMENTS	08-22-2019	LJL
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN OVERALL GRADING PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**  
 DESIGNED BY:  
**KT**

SCALE:  
**1" = 80'**

SUBMITTED ON:  
**12.19.2018**

I:\00491613\DWG\PLANNING\DP1613-FDP-GRADING.dwg

**AFPD NOTES**

- FIRE HYDRANTS SHALL BE INSTALLED OR MADE OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE FLOW PRIOR TO COMMENCING ABOVE GRADE CONSTRUCTION.
- THE MINIMUM FIRE FLOW AS DETERMINED BY ARVADA FIRE SHALL BE PROVIDED BY THE FIXED-WATER DISTRIBUTION SYSTEM. FIRE FLOW IS CALCULATED USING THE TOTAL FLOOR AREA OF ALL FLOORS WITHIN THE EXTERIOR WALLS OF THE LARGEST BUILDING AND THE CONSTRUCTION TYPE. REDUCTION IN REQUIRED FIRE FLOW IS ALLOWED WITH INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM AND AS APPROVED BY ARVADA FIRE. BASED UPON THE INFORMATION PROVIDED AND ASSUMING A CONSTRUCTION TYPE OF TYPE 5B OF OVER 33,000 SQUARE FEET FOR THE STRUCTURE THE MINIMUM REQUIRED FIRE FLOW IS DETERMINED TO BE 2,500 GPM WITH SPRINKLER REDUCTION.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS, MEASURED FROM THE TOP CENTER OF THE HYDRANT AND THERE SHALL BE NO OBSTRUCTIONS DIRECTLY IN FRONT OF FIRE HYDRANTS.

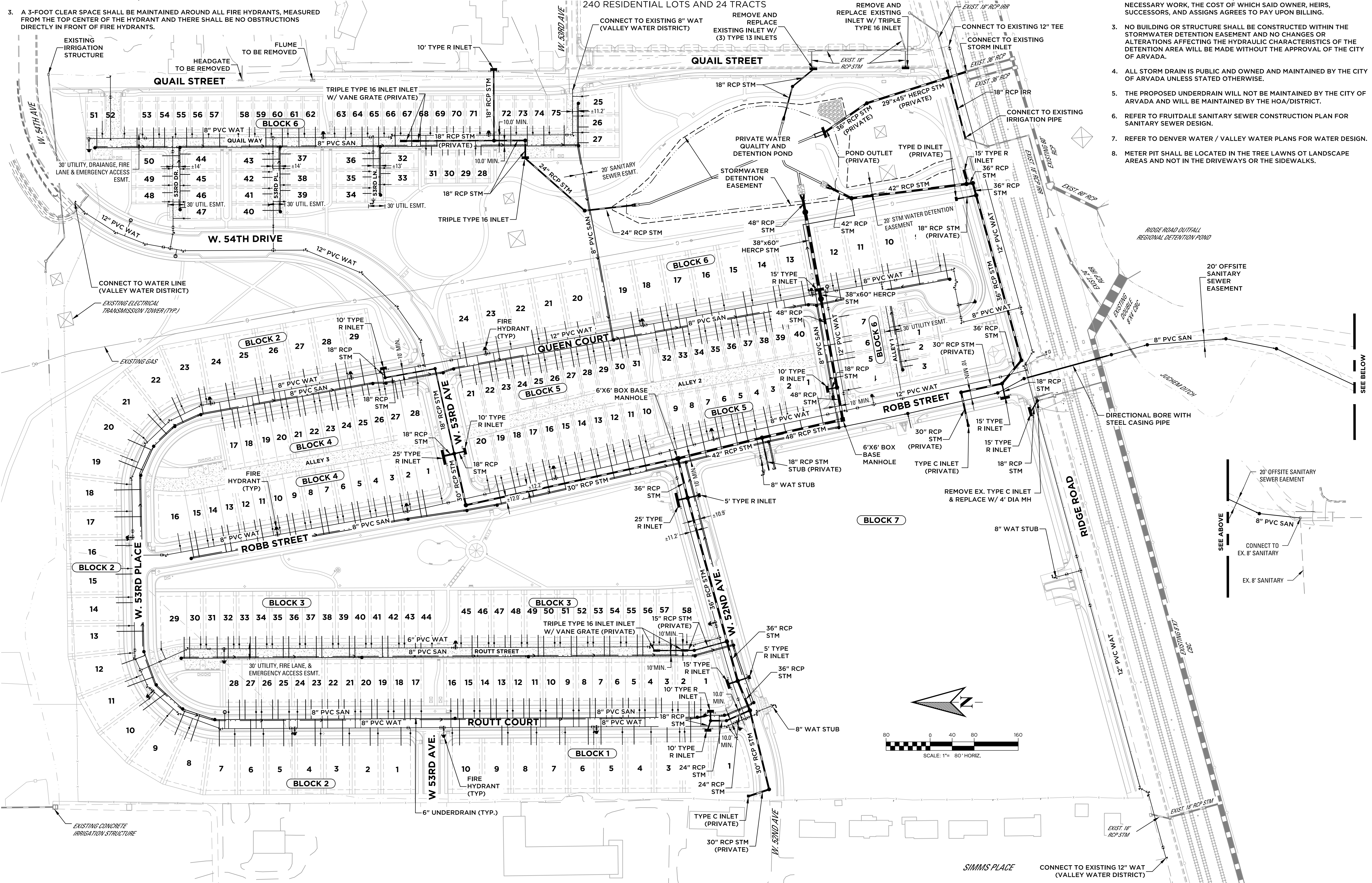
# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN A PART OF THE WEST HALF OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO 240 RESIDENTIAL LOTS AND 24 TRACTS

**UTILITY NOTES**

- BACKFLOW PREVENTERS ARE REQUIRED FOR ALL WATER SERVICE CONNECTIONS IN ACCORDANCE WITH THE COLORADO PRIMARY DRINKING WATER REGULATIONS, REGULATION 11.
- THE STORMWATER DETENTION AREA SHOWN HEREON (WITHIN AN EASEMENT GRANTED TO THE CITY OF ARVADA FOR SUCH PURPOSE) SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNERS AND SUBSEQUENT OWNER, HEIRS, SUCCESSORS, AND ASSIGNS. IN THE EVENT THAT SAID CONSTRUCTION AND MAINTENANCE IS NOT PERFORMED BY THE OWNER, THE CITY OF ARVADA SHALL HAVE (WITHOUT WAIVING AN OTHER RIGHTS AVAILABLE TO IT) THE RIGHT TO PERFORM THE NECESSARY WORK, THE COST OF WHICH SAID OWNER, HEIRS, SUCCESSORS, AND ASSIGNS AGREES TO PAY UPON BILLING.
- NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED WITHIN THE STORMWATER DETENTION EASEMENT AND NO CHANGES OR ALTERATIONS AFFECTING THE HYDRAULIC CHARACTERISTICS OF THE DETENTION AREA WILL BE MADE WITHOUT THE APPROVAL OF THE CITY OF ARVADA.
- ALL STORM DRAIN IS PUBLIC AND OWNED AND MAINTAINED BY THE CITY OF ARVADA UNLESS STATED OTHERWISE.
- THE PROPOSED UNDERDRAIN WILL NOT BE MAINTAINED BY THE CITY OF ARVADA AND WILL BE MAINTAINED BY THE HOA/DISTRICT.
- REFER TO FRUITDALE SANITARY SEWER CONSTRUCTION PLAN FOR SANITARY SEWER DESIGN.
- REFER TO DENVER WATER / VALLEY WATER PLANS FOR WATER DESIGN.
- METER PIT SHALL BE LOCATED IN THE TREE LAWNS OF LANDSCAPE AREAS AND NOT IN THE DRIVEWAYS OR THE SIDEWALKS.



ENGINEERING:



**KT ENGINEERING**  
12520 W. 58th Ave. #250  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:  
**acdc**  
architecture design collaborative  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.acdcollaborative.com  
303.351.0040



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LANDSCAPE ARCHITECTURE  
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Centennial, CO 80112  
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www.consiliumdesign.com

PREPARED FOR:  
**SJM RIDGE, LLC**  
7353 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	06-20-2019	KT	REFERRAL COMMENTS
2.	07-12-2019	LJL	CITY OF ARVADA COMMENTS
3.	08-22-2019	LJL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			
7.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### OVERALL UTILITY PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**

DESIGNED BY:  
**KT**

SCALE:  
**1" = 80'**


SUBMITTED ON:  
**12.19.2018**

**12**  
OF 51

I:\00491613\DWG\PLANNING\DP1613-FDP-UTILITY.dwg

# HASKINS STATION

**FIRE TRUCK SITE ACCESS EXHIBIT**  
 A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1,  
 RECEPTION NO. F0988769 AND AN UNPLATTED PARCEL OF LAND LOCATED IN  
 A PART OF THE WEST HALF OF SECTION 16,  
 TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,  
 CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
 240 RESIDENTIAL LOTS AND 24 TRACTS



**Turning Performance Analysis**

Configuration: 95MID PAP 300-3000 GTM  
 Number: 21261

Representative: Fire Range Fire Apparatus, Ltd  
 Organization: Arvada Fire Protection District

19170208  
 09/26/2018

**Parameters:**

- Inside Cramp Angle: 40°
- Axis Track: 94.10'
- Wheel Offset: 5.30'
- Locked Tire Width: 19.10'
- Chassis Overhang: 82.44'
- Additional Bumper Depth: 16.00'
- Front Overhang: 98.44'
- Wheelbase: 278.75'

**Calculated Turning Radii:**

- Inside Turn: 314.97'
- Curb to Curb: 512.76'
- Wall to Wall: 569.75'

**Comments:**  
 Aerial Application

**Components**

Option #	Description
000013	Axis, Suspension, Front, Cabwidth 14K-4, Non-Crew, 24,000 lb
0111275	Aluminum, Alcoa, 22.50 x 13.00
0111277	Quantum 2004 Chassis
010681	Tray, Bumper, Center, Standard, 20" W x 11.2" L x 10" D
000223	Aerial, 95' Pierce PAP Mid-Mount

**Notes:**  
 Actual Inside Cramp Angle may be less due to highly specialized options.

**Curb to Curb turning radius calculated for a 9.00 inch curb.**

**Definitions:**

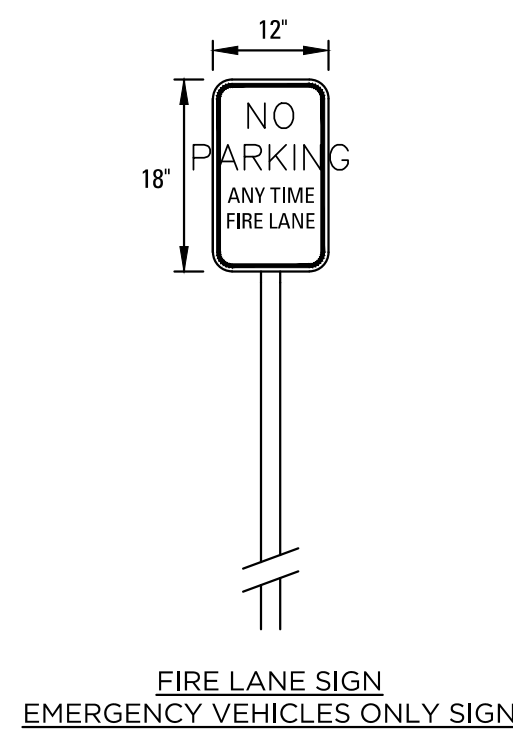
- Inside Cramp Angle: Maximum turning angle of the front axle.
- Axis Track: Kingpin to kingpin distance of the front axle.
- Wheel Offset: Offset from the centerline of the wheel to the kingpin.
- Tire Width: Width of the tire tread.
- Chassis Overhang: Distance from the centerline of the front axle to the front edge of the cab. This does not include the bumper depth.
- Additional Bumper Depth: Depth that the bumper assembly adds to the front overhang.
- Wheelbase: Distance between the centerlines of the wheel's front and rear axles.
- Inside Turning Radius: Radius of the smallest circle around which the vehicle can turn.
- Curb to Curb Turning Radius: Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
- Wall to Wall Turning Radius: Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial device.

Page 1 of 1

**NOTE:**  
 FIRE TRUCK OVERALL DIMENSIONS SHOWN PER THE ARVADA FIRE PROTECTION DISTRICT  
 EMAIL CONTAINING FIRE TRUCK DETAIL TITLED: 95' AERIAL MIDMOUNT PLATFORM AND  
 BODY ASSEMBLY, 300 GALLON WATER TANK (21261PT).

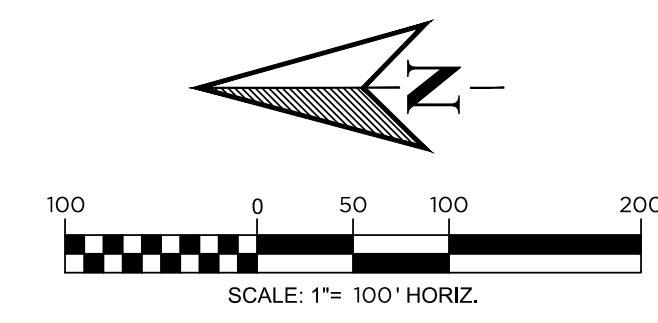
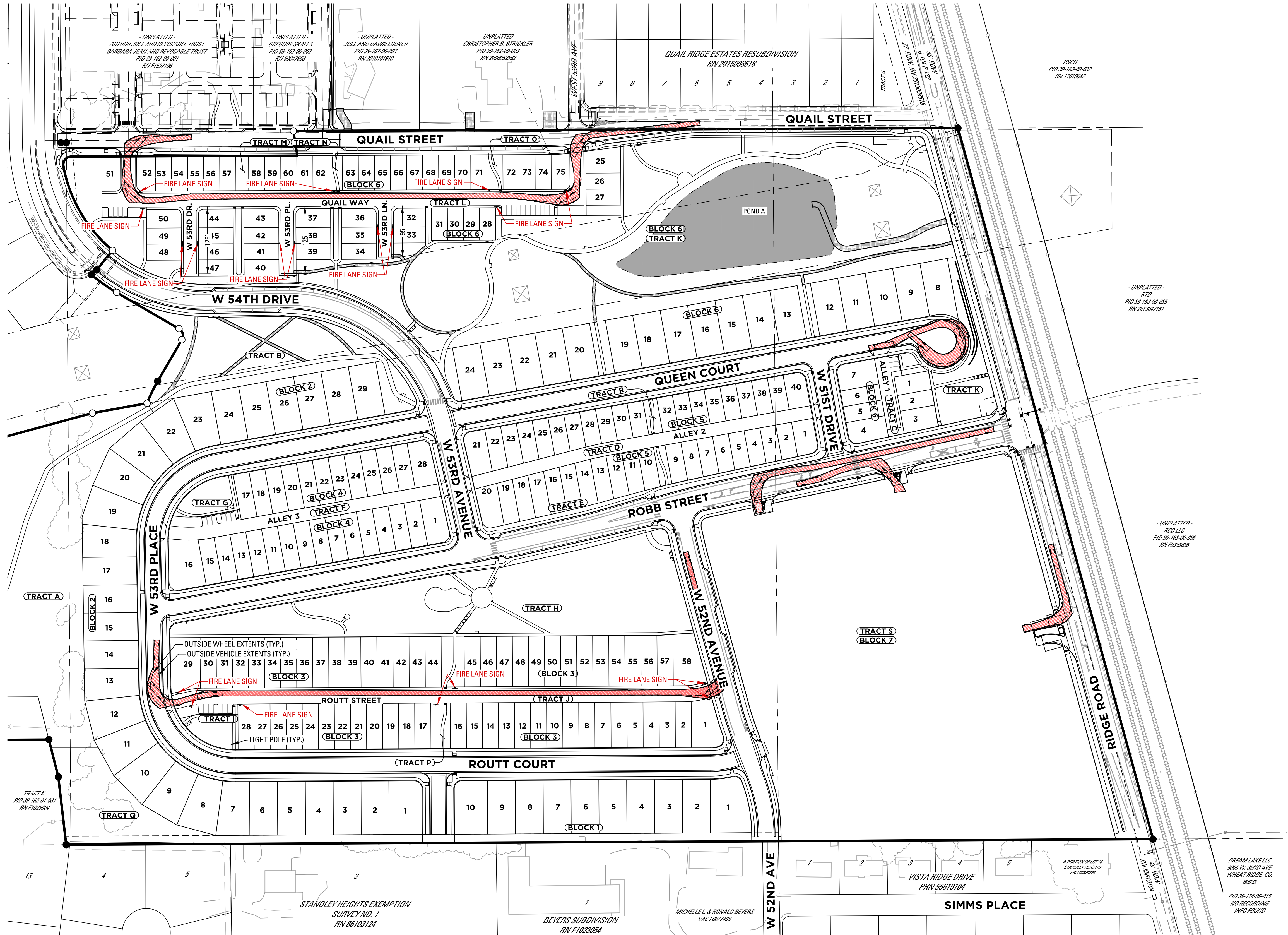
**SIGN POST & MOUNTING NOTES**

- ALL SIGNAGE AND SIGN POSTS SHALL BE INSTALLED PER CITY DETAIL TR-1, SPECIFICATION FOR SIGN SUPPORT MATERIAL AND INSTALLATION.
- W. 86TH PARKWAY STREET NAME SIGN SHALL BE INSTALLED ABOVE THE R1-1 SIGN NEAREST W. 86TH AVE AS PER CITY DETAIL TR-1. THE STREET NAME SIGN SHALL BE PER CITY DETAIL TR-11, STREET NAME SIGN (POST MOUNTED).
- SIGNAGE SHALL COMPLY WITH IFC FIGURE D 103.6




**FIRE LANE SIGN DETAIL**

N.T.S.




ENGINEERING:



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 12520 W. 58th Ave. #230  
 Arvada, CO 80002  
 P: 720.638.5190  
 www.kting.net

ARCHITECTURE / PLANNING:



**adco**  
 architecture design collaborate  
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 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

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3.	08-22-2019	LJL	CITY OF ARVADA COMMENTS
4.			
5.			
6.			
7.			

SHEET INFO:

**HASKINS STATION**  
 FINAL DEVELOPMENT PLAN  
 FIRE ACCESS PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**IJL**  
 DESIGNED BY:  
**KT**

SCALE:  
**1" = 100'**

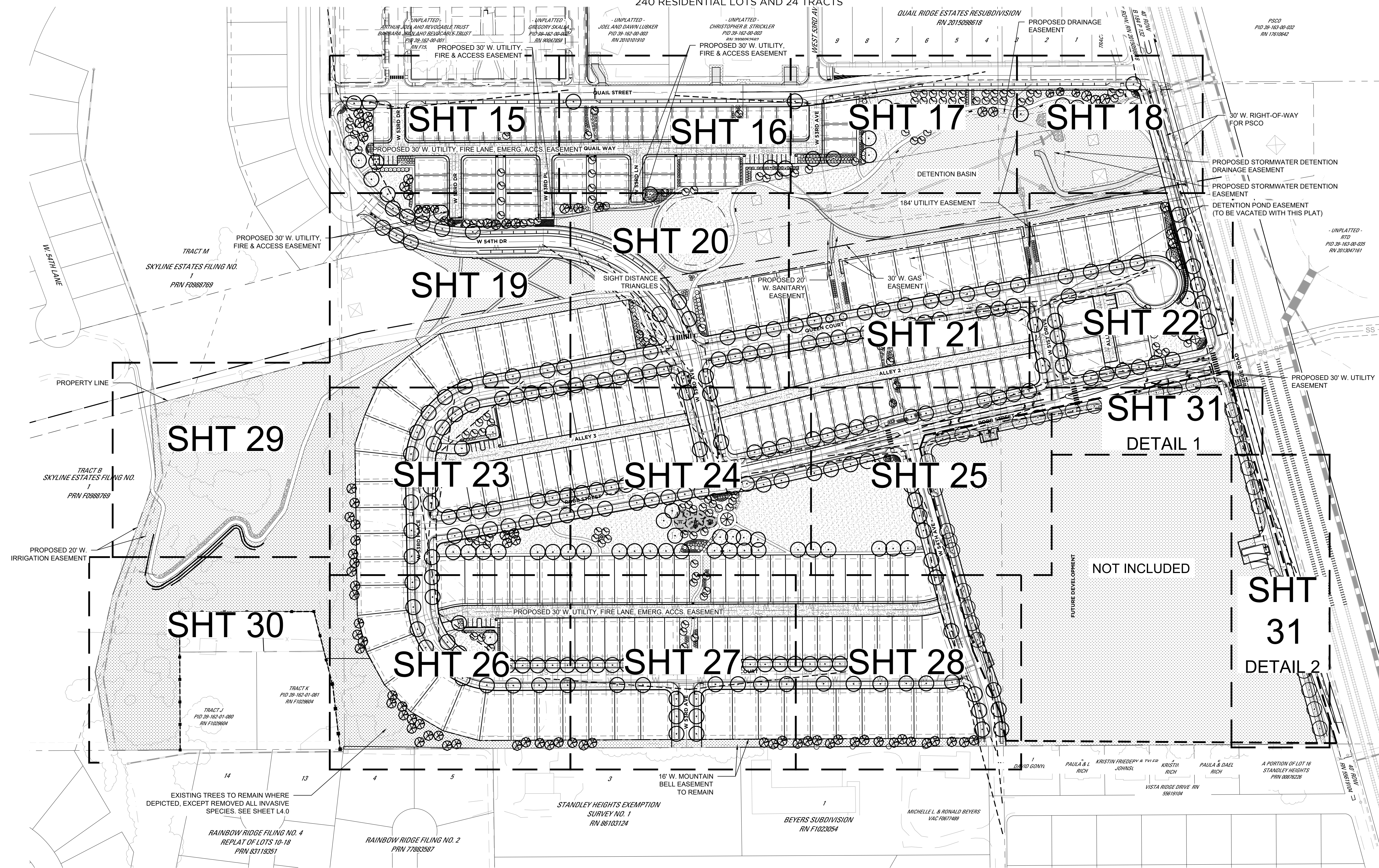
SUBMITTED ON:  
**12.19.2018**

**13**  
 OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



### LEGEND

- NATIVE SEED MIX
- TURF
- EXISTING TREES
- EVERGREEN TREE 6' HEIGHT
- ORNAMENTAL TREE 1.5" CALIPER
- DECIDUOUS TREE 2" CALIPER

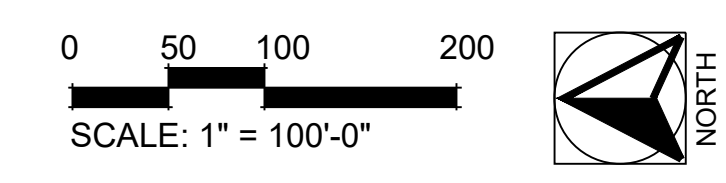
NOTES:  
1. SEE SHEETS 15-31 FOR MORE DETAILED PLANTING AND AMENITIES  
2. SEE SHEET# 36 FOR FENCING PLAN

NOTE:  
1. A 3-0 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.  
2. TREES WITHIN THIS DEVELOPMENT, WHEN FULLY MATURE, SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES. IT APPEARS AS THOUGH MANY OF THE TREES MAY OBSTRUCT THE EMERGENCY VEHICLE ACCESS ROUTES. ENSURE THAT THE TREES WILL NOT OBSTRUCT AFPD ACCESS.

OPEN SPACE		
TOTAL OPEN SPACE REQUIRED: 5.20 AC	REQUIRED	PROVIDED
MINIMUM OF OPEN SPACE TREES (1 TREE PER 3000 SQFT)	76	148
MINIMUM OF SHRUBS (1 SHRUB PER 600 SQFT)	378	819
MITIGATION TREES	53	53

OPEN SPACE CALCULATION

SINGLE-FAMILY & PAIRED HOMES OPEN SPACE REQUIRED: 10%	
SINGLE-FAMILY & PAIRED HOMES ACRES:	50.60 AC
OPEN SPACE REQUIRED (10%):	5.06 AC
OPEN SPACE PROVIDED:	16.80 AC
% OF OPEN SPACE:	33.2%



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PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9113

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1.	05/20/19	KLW	REVISIONS PER CITY COMMENTS
2.	07/12/19	KLW	REVISIONS PER CITY COMMENTS
3.	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**KW**  
DESIGNED BY:  
**KW, BK**

SCALE:  
**1" = 100'**

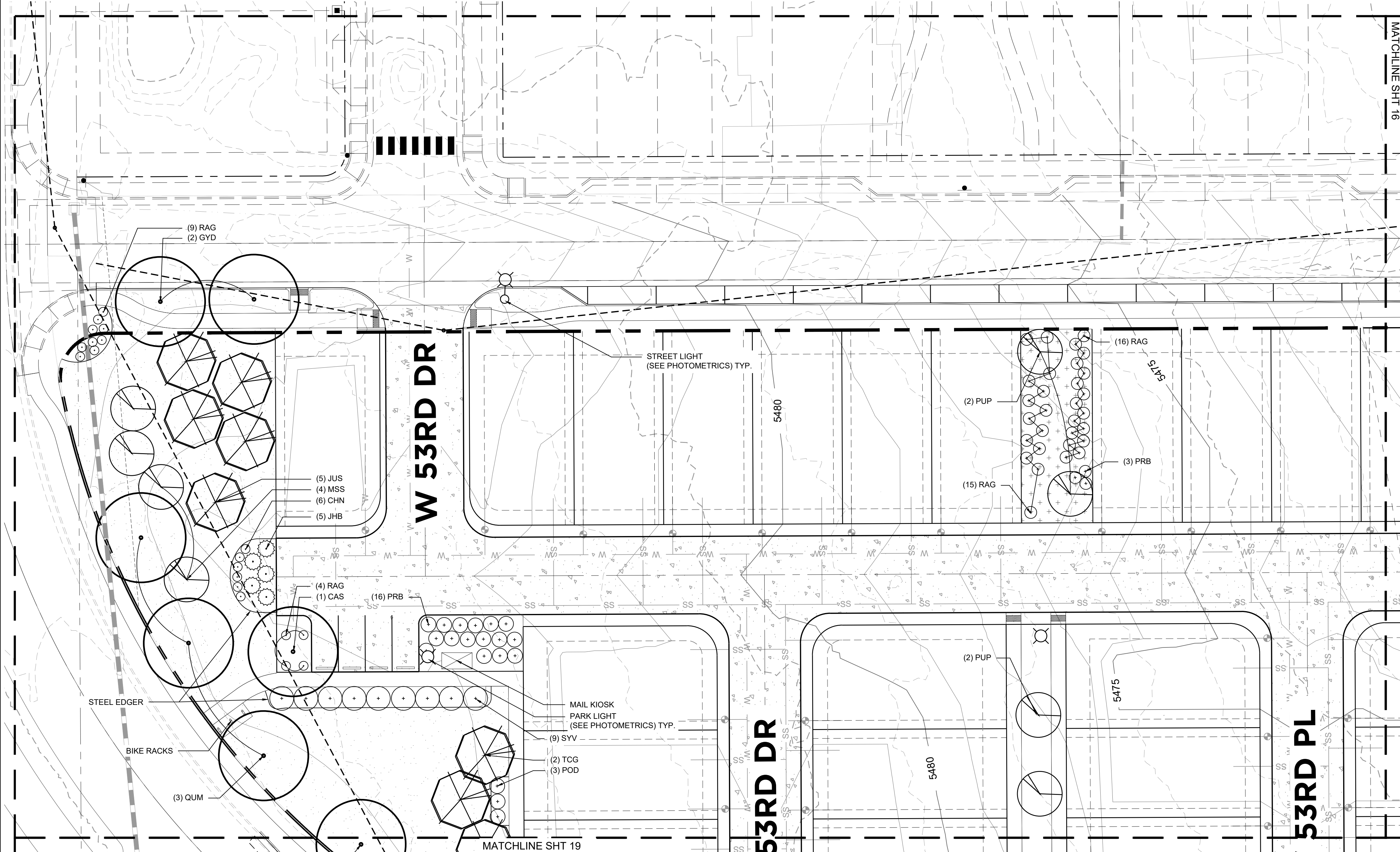
SUBMITTED ON:  
**08.22.2019**

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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
32	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
10	CRP	Crataegus phaenopyrum	Washington Hawthorn
7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
4	PRA	Prunus americana	American Plum
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
13	PUP	Pyrus ussuriensis 'Prairie Gem'	Prairie Gem Pear

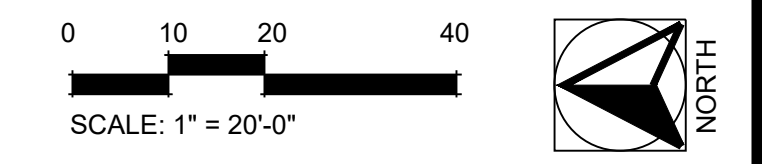
<b>SHRUBS</b>			
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
22	CEL	Cercocarpus ledifolius	Curly Leaf Mountain Mahogany
15	CEM	Cercocarpus montanus	Mountain Mahogany
153	CHN	Chrysothamnus nauseosus	Rabbitbrush
14	FAP	Fallugia paradoxa	Apache Plume
5	JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper
60	MAA	Mahonia aquifolium	Oregon Grape Holly
53	PEA	Perovskia atriplicifolia	Russian Sage
3	POD	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark
20	PFP	Potentilla fruticosa 'Fargo'	Dakota Sunspot Potentilla
136	PRB	Prunus besseyi	Western Sandcherry
17	PRT	Prunus tomentosa	Nanking Cherry
276	RAG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac
27	RHT	Rhus trilobata	Three Leaf Sumac
10	RIA	Ribes aureum	Golden Currant
36	SYV	Syringa vulgaris	Common Purple Lilac

<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
50	HEM	Hemerocallis sp.	Daylily
140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamel'	Fountain Grass

### LEGEND

	PROPERTY BOUNDARY		LIGHT POLE
	6' WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.		MAIL KIOSK (QTY 2)
	3 RAIL WOOD FENCE		BENCH
	WATER LINES		PICNIC TABLE
	SANITARY SEWER		TRASH RECEPTACLE
	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

- NOTE:
- SEE SHEET 14 FOR GROUND PLANE
  - SEE SHEET 36 FOR FENCING PLAN
  - SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
  - SEE SHEETS 37-44 FOR DETAILS AND SPECS



ENGINEERING:

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3	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4			
5			
6			
6			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

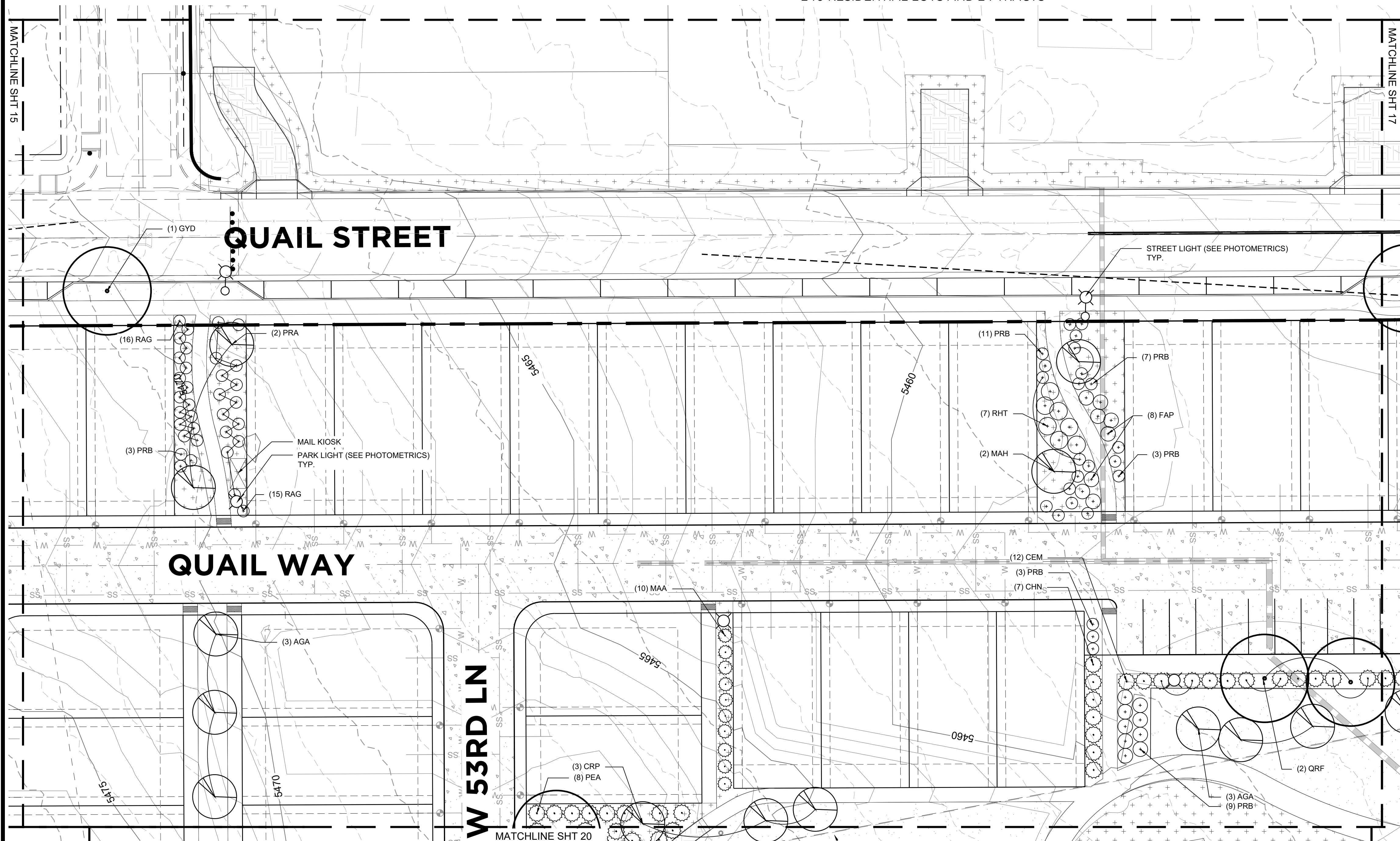
SUBMITTED ON:  
**08.22.2019**

**15**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
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<b>EVERGREEN TREES</b>			
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4	PRA	Prunus americana	American Plum
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
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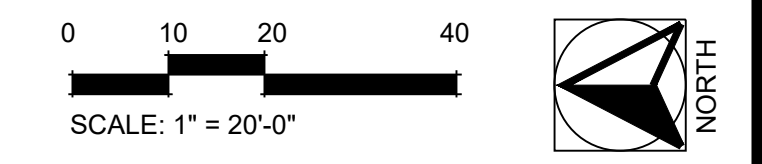
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<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
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140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamel'	Fountain Grass

### LEGEND

- PROPERTY BOUNDARY
- 6" WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.
- 3 RAIL WOOD FENCE
- W WATER LINES
- SS SANITARY SEWER
- STORM SEWER
- TURF
- NATIVE SEED MIX
- LIGHT POLE
- ⊗ MAIL KIOSK (QTY 2)
- ▬ BENCH
- ⊞ PICNIC TABLE
- ⊗ TRASH RECEPTACLE
- ⊞ BIKE RACKS
- ⊞ BIKE STATION
- DOG SERVICE STATION

- NOTE:
- SEE SHEET 14 FOR GROUND PLANE
  - SEE SHEET 36 FOR FENCING PLAN
  - SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
  - SEE SHEETS 37-44 FOR DETAILS AND SPECS



ENGINEERING:  
**KT**  
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**architecture design collaborative**  
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PREPARED FOR:  
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P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05/20/19	KLW	REVISIONS PER CITY COMMENTS
2.	07/12/19	KLW	REVISIONS PER CITY COMMENTS
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4.			
5.			
6.			
7.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

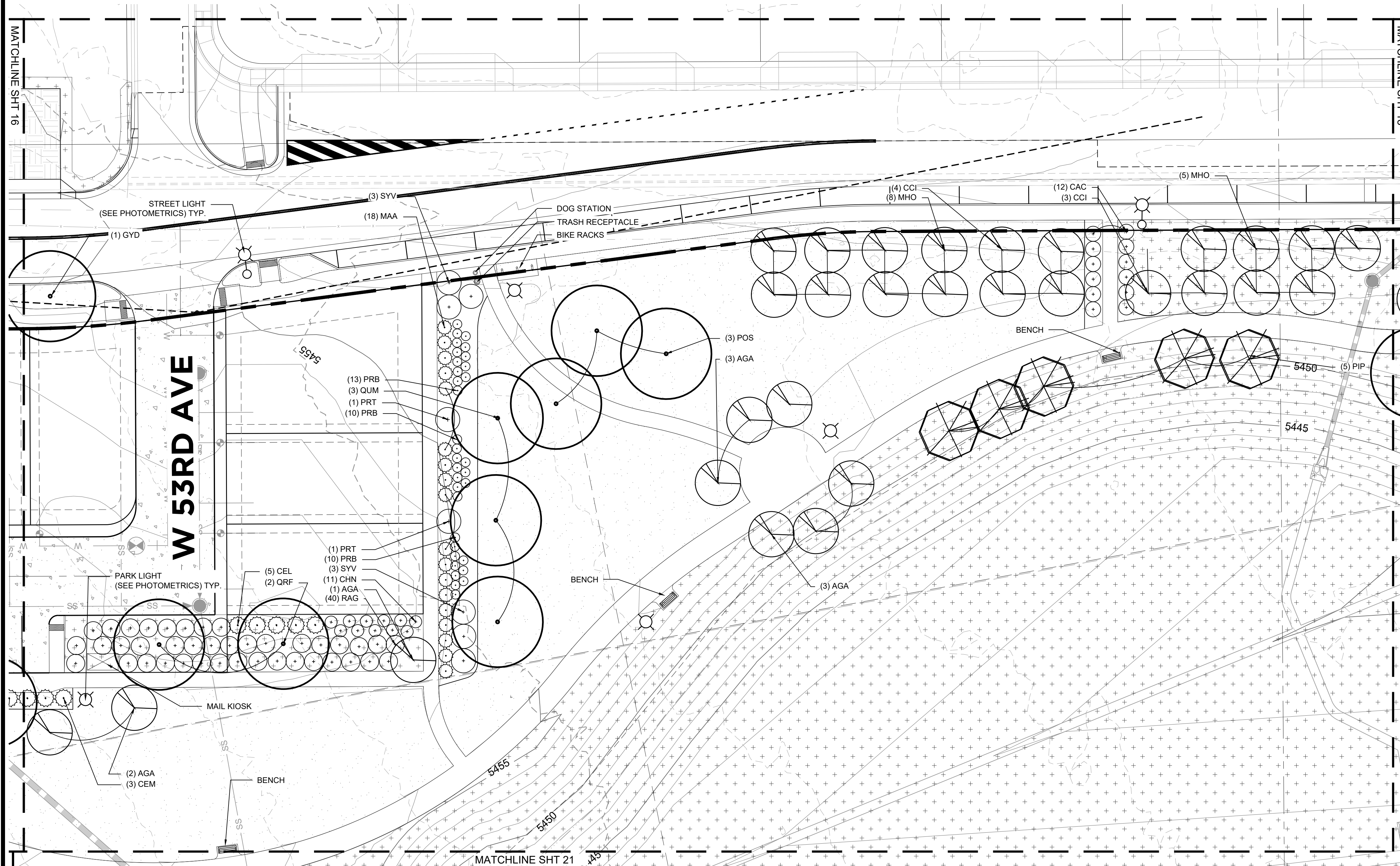
SUBMITTED ON:  
**08.22.2019**



# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
32	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
10	CRP	Crataegus phaenopyrum	Washington Hawthorn
7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
4	PRA	Prunus americana	American Plum
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
13	PJP	Pyrus ussuriensis 'Prairie Gem'	Prairie Gem Pear

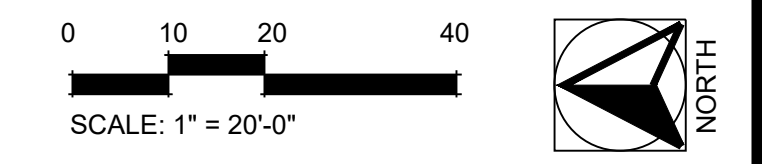
<b>SHRUBS</b>			
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
22	CEL	Cercocarpus ledifolius	Curly Leaf Mountain Mahogany
15	CEM	Cercocarpus montanus	Mountain Mahogany
153	CHN	Chrysothamnus nauseosus	Rabbitbrush
14	FAP	Fallugia paradoxa	Apache Plume
5	JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper
60	MAA	Mahonia aquifolium	Oregon Grape Holly
53	PEA	Perovskia atriplicifolia	Russian Sage
3	POD	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark
20	PFP	Potentilla fruticosa 'Fargo'	Dakota Sunspot Potentilla
136	PRB	Prunus besseyi	Western Sandcherry
17	PRT	Prunus tomentosa	Nanking Cherry
276	RAG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac
27	RHT	Rhus trilobata	Three Leaf Sumac
10	RIA	Ribes aureum	Golden Currant
36	SYV	Syringa vulgaris	Common Purple Lilac

<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
50	HEM	Hemerocallis sp.	Daylily
140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamel'	Fountain Grass

### LEGEND

	PROPERTY BOUNDARY		LIGHT POLE
	6' WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.		MAIL KIOSK (QTY 2)
	3 RAIL WOOD FENCE		BENCH
	WATER LINES		PICNIC TABLE
	SANITARY SEWER		TRASH RECEPTACLE
	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

- NOTE:
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SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
 DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

# HASKINS STATION

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28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
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4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
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26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
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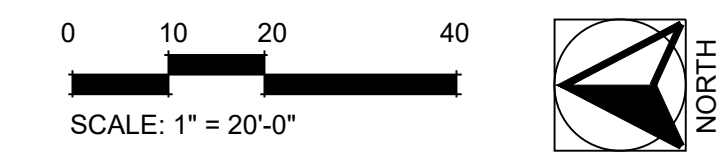
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50	HEM	Hemerocallis sp.	Daylily
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### LEGEND

	PROPERTY BOUNDARY		LIGHT POLE
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	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

- NOTE:
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6a.			
6b.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
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DESIGNED BY:  
**XXX**

SCALE:  
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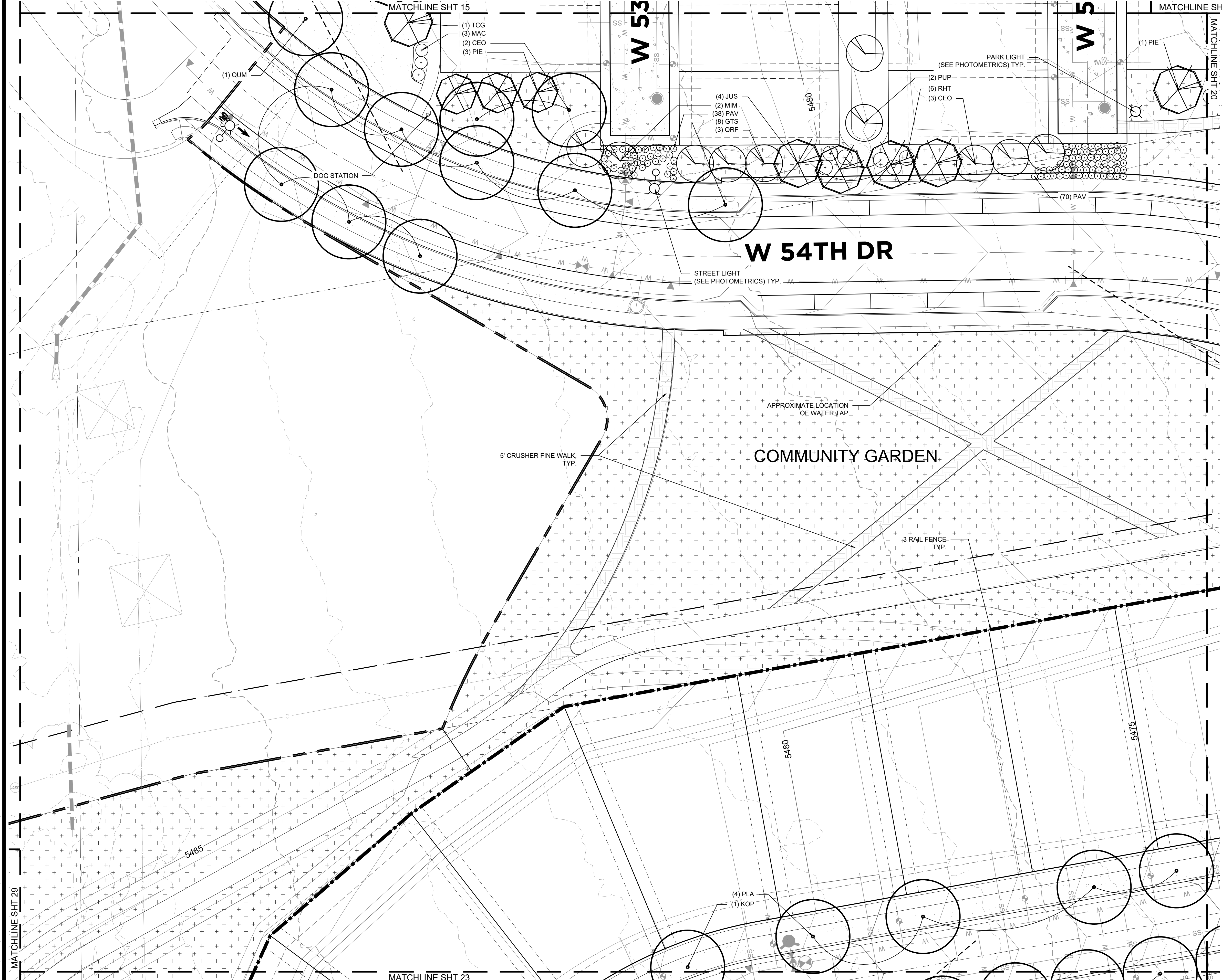
SUBMITTED ON:  
**08.22.2019**

**18**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

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22	CEL	Cercocarpus ledifolius	Curly Leaf Mountain Mahogany
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<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
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### LEGEND

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- 6" WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.
- 3 RAIL WOOD FENCE
- W WATER LINES
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- STORM SEWER
- TURF
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- LIGHT POLE
- ⊠ MAIL KIOSK (QTY 2)
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SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
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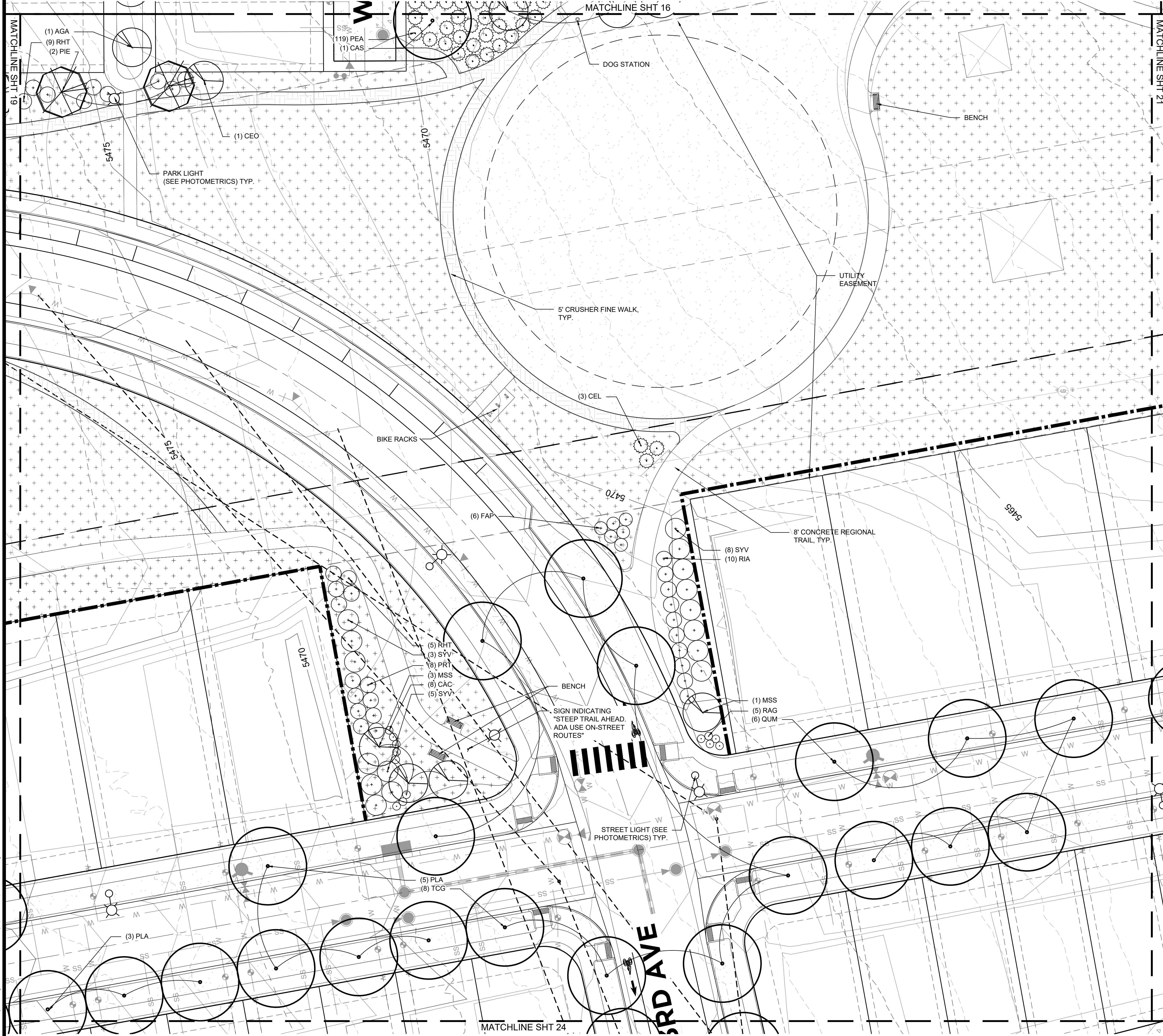
SUBMITTED ON:  
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# HASKINS STATION

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- ⊙ BIKE STATION
- DOG SERVICE STATION

- NOTE:
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  - SEE SHEET 36 FOR FENCING PLAN
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ENGINEERING:

**KT ENGINEERING**  
12520 W. 58th Ave. #330  
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PREPARED FOR:

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REVISIONS:

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5.			
6.			
7.			
8.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

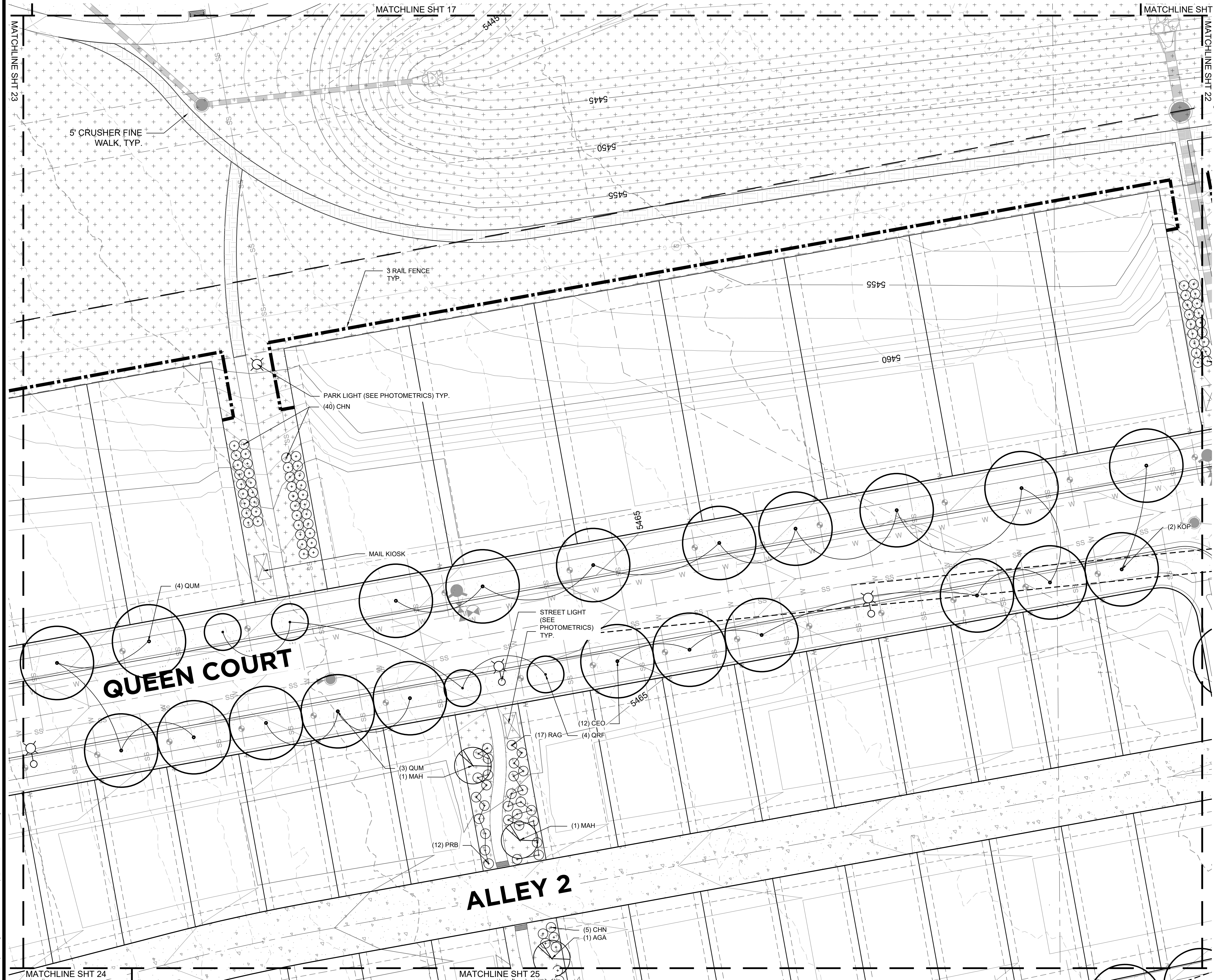
**20**  
OF 51

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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plainree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
32	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
10	CRP	Crataegus phaenopyrum	Washington Hawthorn
7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
4	PRA	Prunus americana	American Plum
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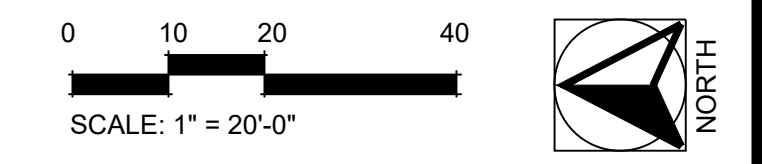
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49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
22	CEL	Cercocarpus ledifolius	Cur Leaf Mountain Mahogany
15	CEM	Cercocarpus montanus	Mountain Mahogany
153	CHN	Chrysothamnus nauseosus	Rabbitbrush
14	FAP	Fallugia paradoxa	Apache Plume
5	JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper
60	MAA	Mahonia aquifolium	Oregon Grape Holly
53	PEA	Perovskia atriplicifolia	Russian Sage
3	POD	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark
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136	PRB	Prunus besseyi	Western Sandcherry
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276	RAG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac
27	RHT	Rhus trilobata	Three Leaf Sumac
10	RIA	Ribes aureum	Golden Currant
36	SYV	Syringa vulgaris	Common Purple Lilac

<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
50	HEM	Hemerocallis sp.	Daylily
140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamel'	Fountain Grass

### LEGEND

- PROPERTY BOUNDARY
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- 3 RAIL WOOD FENCE
- W WATER LINES
- SS SANITARY SEWER
- STORM SEWER
- TURF
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- ⊠ MAIL KIOSK (QTY 2)
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- ⊞ PICNIC TABLE
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SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

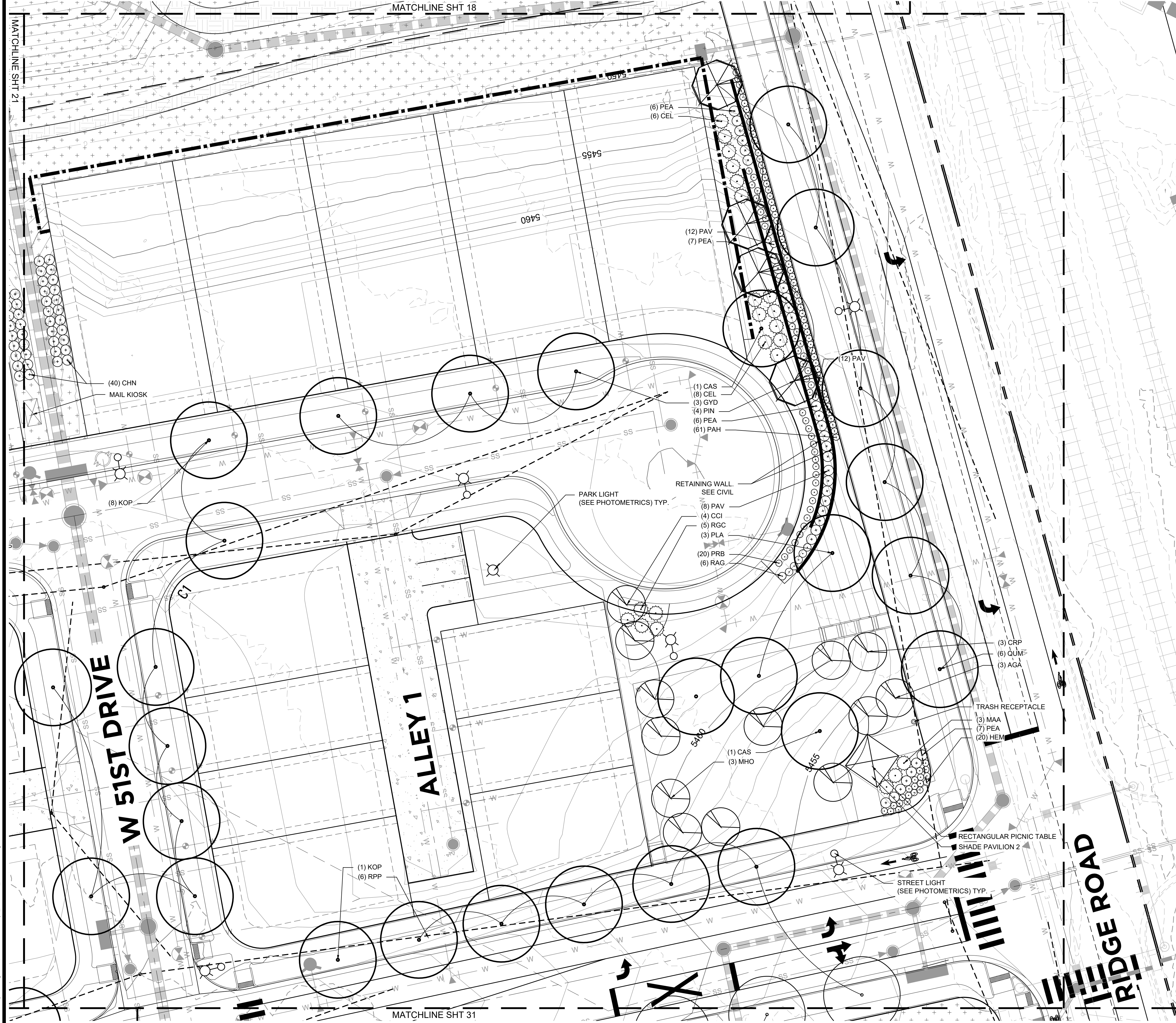
SUBMITTED ON:  
**08.22.2019**

**21**  
OF 51

# HASKINS STATION

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50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
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13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

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9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
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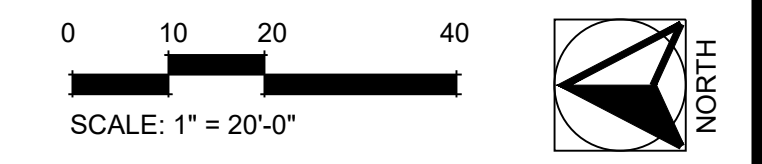
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68			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

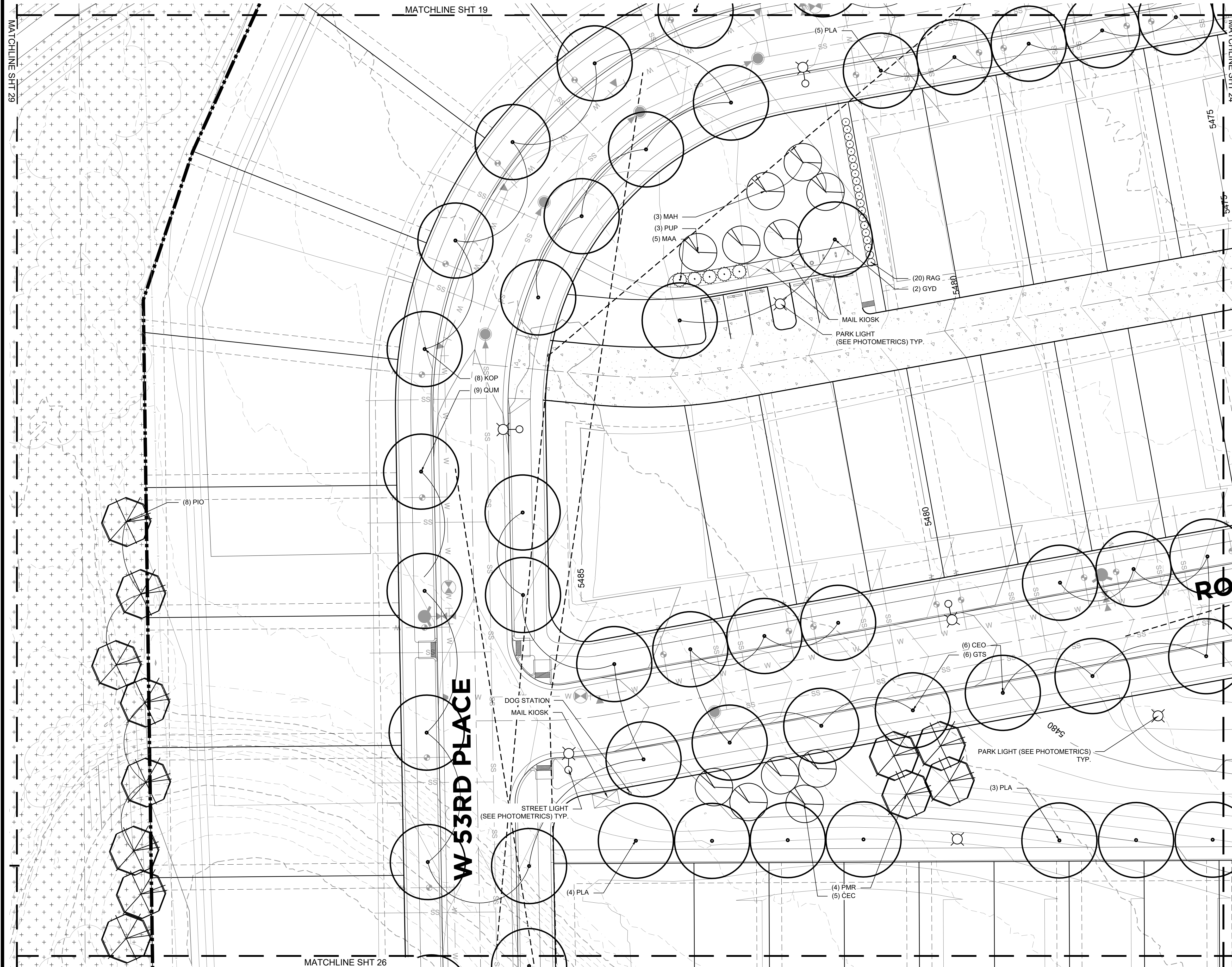
SUBMITTED ON:  
**08.22.2019**

**22**  
OF 51

# HASKINS STATION

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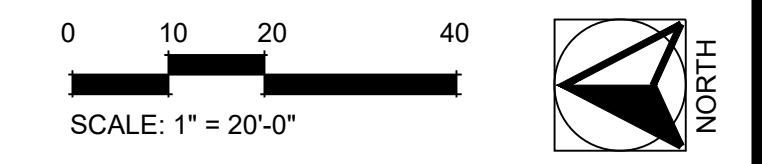
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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
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DESIGNED BY:  
**XXX**

SCALE:  
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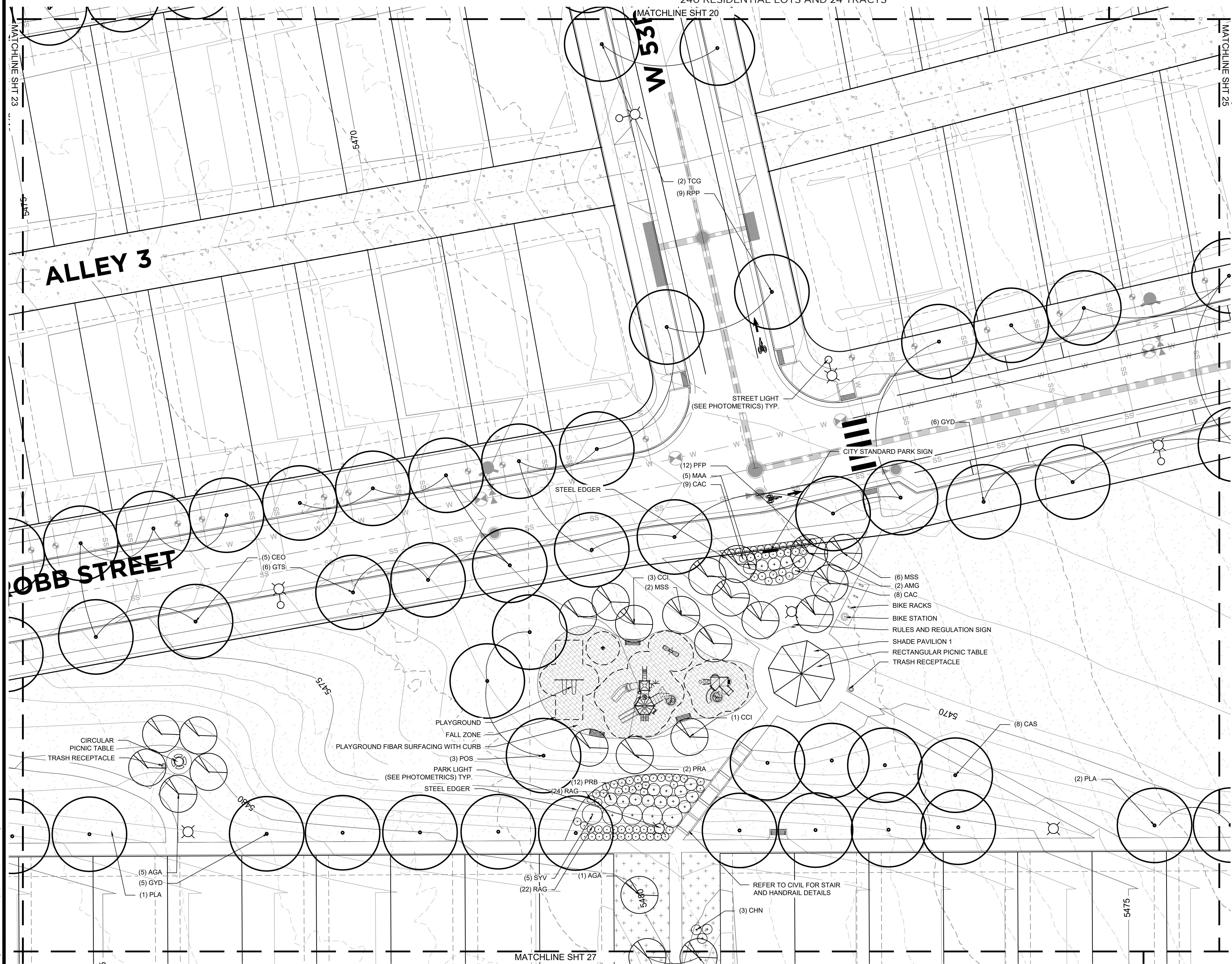
SUBMITTED ON:  
**08.22.2019**

**23**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

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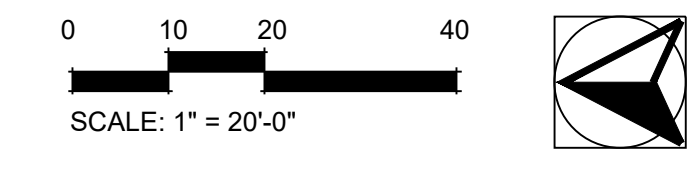
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5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac
27	RHT	Rhus trilobata	Three Leaf Sumac
10	RIA	Ribes aureum	Golden Currant
36	SYV	Syringa vulgaris	Common Purple Lilac

<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
50	HEM	Hemerocallis sp.	Daylily
140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamelin'	Fountain Grass

### LEGEND

	PROPERTY BOUNDARY		LIGHT POLE
	6' WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.		MAIL KIOSK (QTY 2)
	3 RAIL WOOD FENCE		BENCH
	WATER LINES		PICNIC TABLE
	SANITARY SEWER		TRASH RECEPTACLE
	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

- NOTE:**
- SEE SHEET 14 FOR GROUND PLANE
  - SEE SHEET 36 FOR FENCING PLAN
  - SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
  - SEE SHEETS 37-44 FOR DETAILS AND SPECS
  - PLAYGROUND EQUIPMENT TO BY LITTLE TIKES PLAY STRUCTURES AND TO INCLUDE:  
MAX PLAY SWING SET WITH 2 BELT SEATS; DRAGONFLY; SOLO SPINNER; MINI MAX PLAY STRUCTURE FOR 2-5 AGE; KID BUILDERS PLAY STRUCTURE FOR 5-12 AGE
  - PARK SIGN WILL REQUIRE SEPARATE PERMIT



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**PREPARED FOR:**  
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**REVISIONS:**

NO.	DATE	BY	REVISION DESCRIPTION
1	05/20/19	KLW	REVISIONS PER CITY COMMENTS
2	07/12/19	KLW	REVISIONS PER CITY COMMENTS
3	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4			
5			
6			
68			

**SHEET INFO:**

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

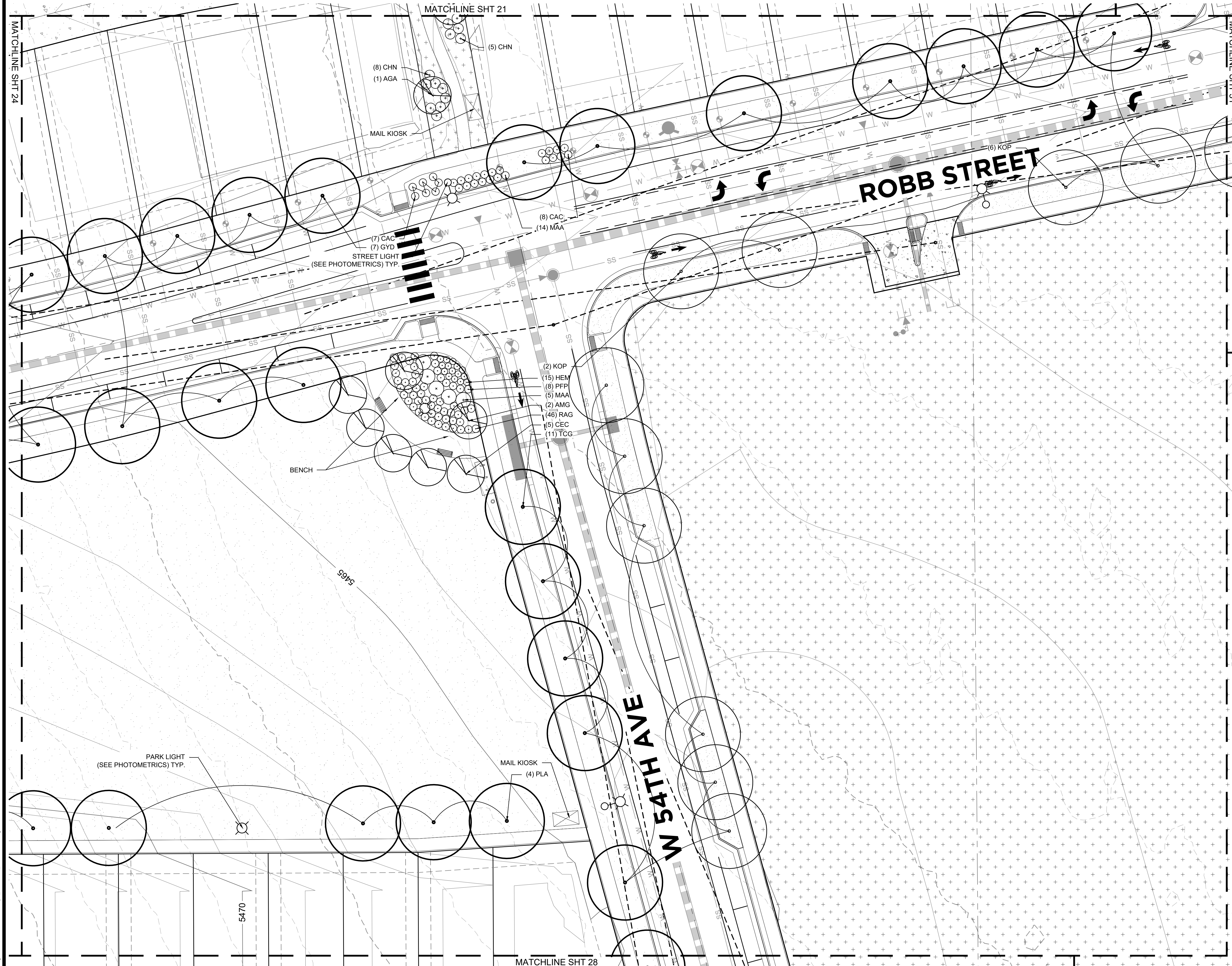
**24**  
OF 51



# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
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4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
10	CRP	Crataegus phaenopyrum	Washington Hawthorn
7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
4	PRA	Prunus americana	American Plum
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
13	PJP	Pyrus ussuriensis 'Prairie Gem'	Prairie Gem Pear

<b>SHRUBS</b>			
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
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15	CEM	Cercocarpus montanus	Mountain Mahogany
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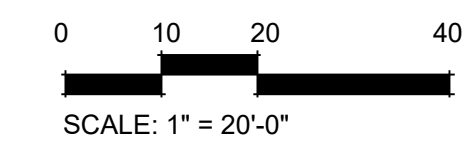
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	SANITARY SEWER		TRASH RECEPTACLE
	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

#### NOTE:

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- SEE SHEET 36 FOR FENCING PLAN
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PREPARED FOR:  
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#### REVISIONS:

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4			
5			
6			
6			

#### SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

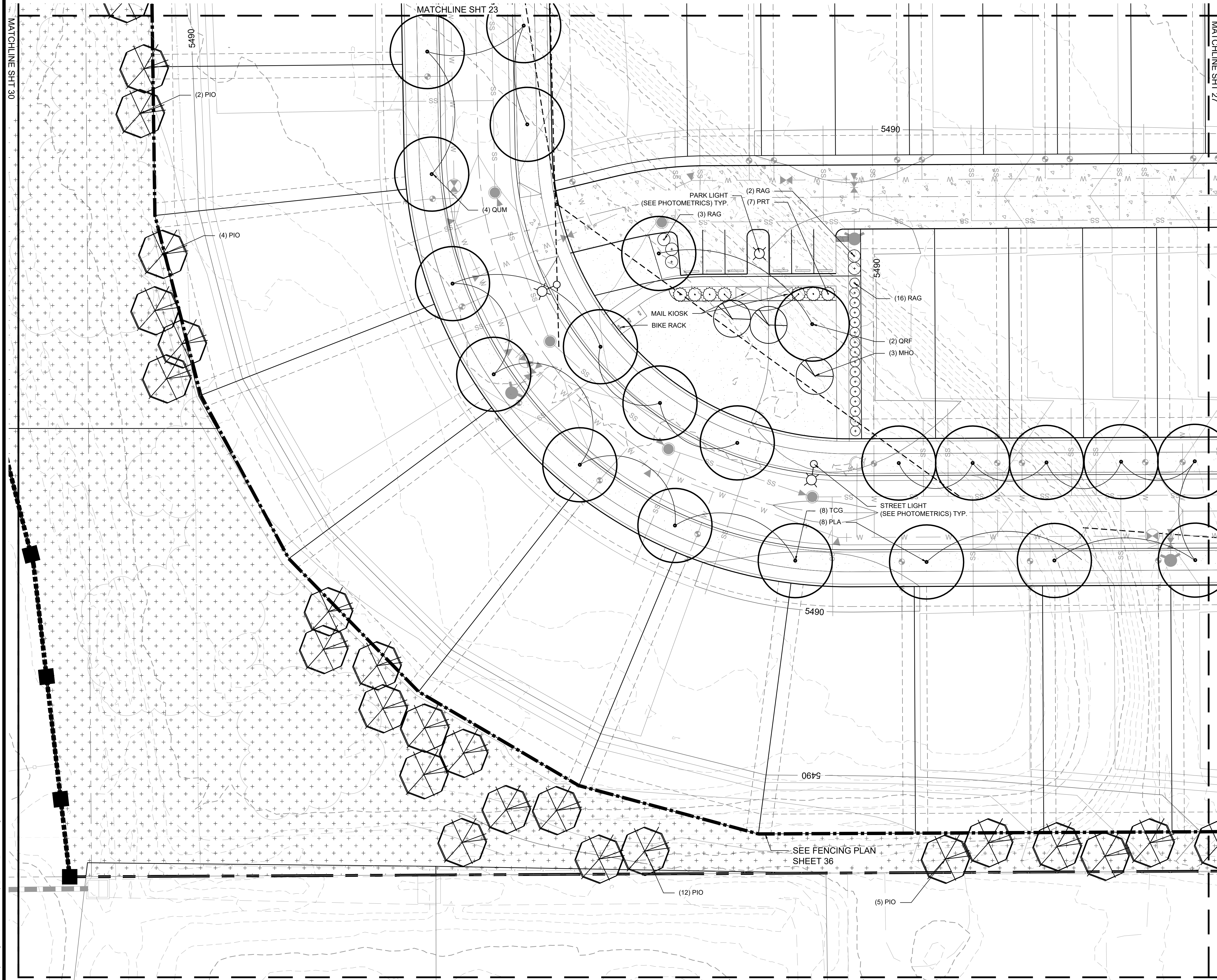
SUBMITTED ON:  
**08.22.2019**

**25**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

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50	PLA	Platanus acerifolia	London Plainree
9	POS	Populus sargentii	Plains Cottonwood
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13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
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53	PIO	Pinus ponderosa	Ponderosa Pine

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7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
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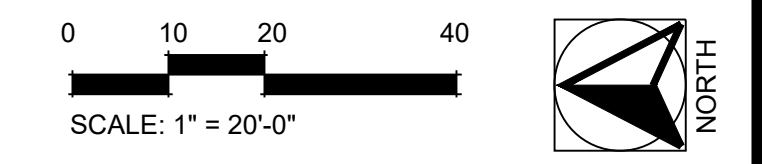
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### LEGEND

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- 6" WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.
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- W WATER LINES
- SS SANITARY SEWER
- STORM SEWER
- TURF
- NATIVE SEED MIX
- LIGHT POLE
- ⊗ MAIL KIOSK (QTY 2)
- ▬ BENCH
- ⊞ PICNIC TABLE
- ⊗ TRASH RECEPTACLE
- ⊞ BIKE RACKS
- ⊞ BIKE STATION
- DOG SERVICE STATION

- NOTE:
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3.	08/22/19	KLW	REVISIONS PER CITY COMMENTS
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5.			
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7.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

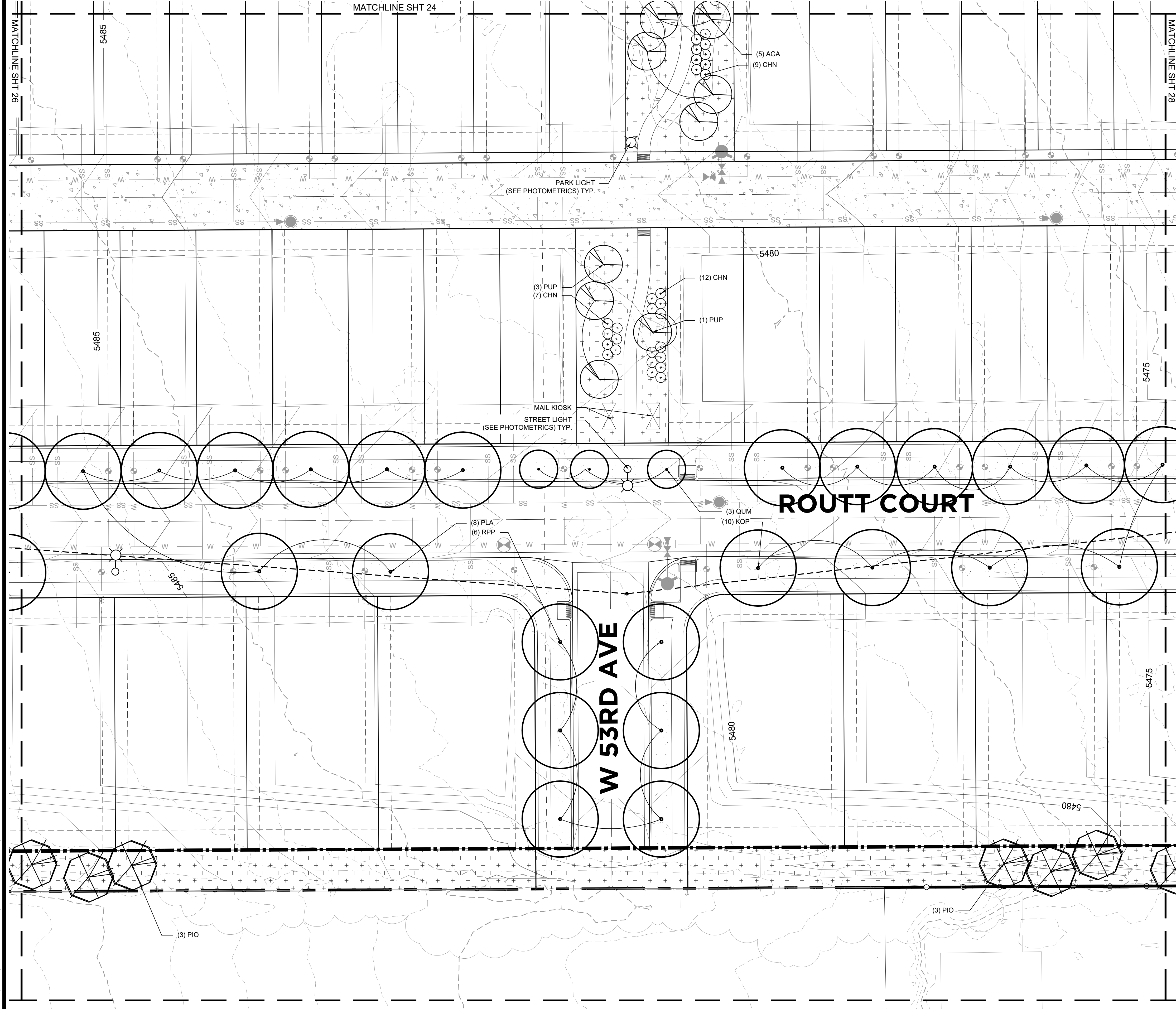
**26**  
OF 51

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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
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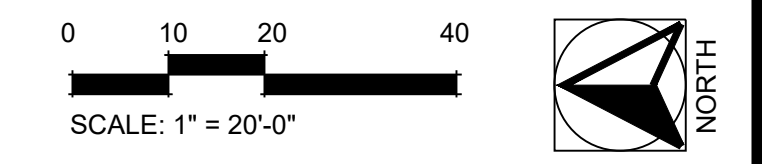
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### LEGEND

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6			
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8			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

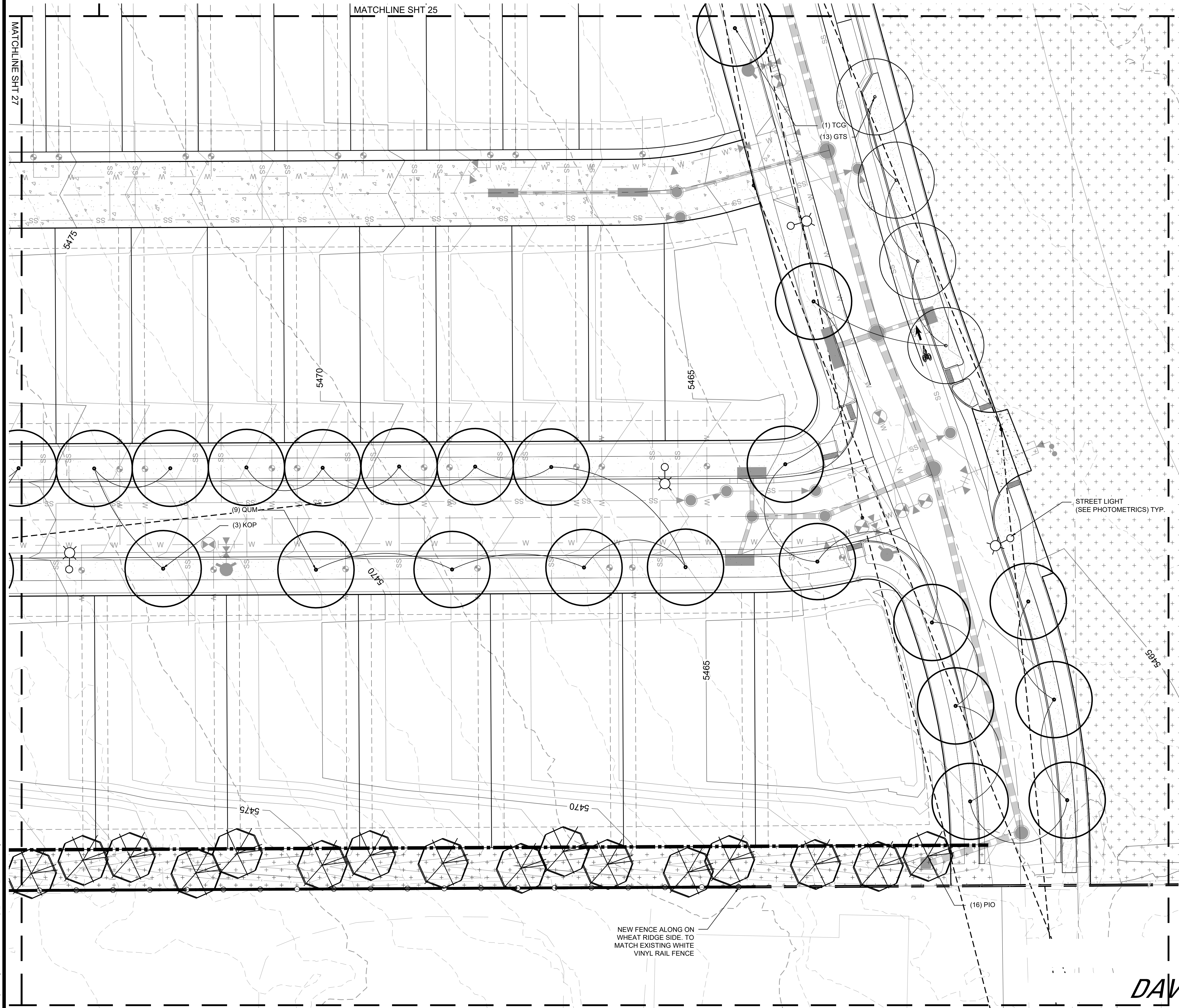
SUBMITTED ON:  
**08.22.2019**

**27**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

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4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
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<b>SHRUBS</b>			
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
22	CEL	Cercocarpus ledifolius	Curly Leaf Mountain Mahogany
15	CEM	Cercocarpus montanus	Mountain Mahogany
153	CHN	Chrysothamnus nauseosus	Rabbitbrush
14	FAP	Fallugia paradoxa	Apache Plume
5	JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper
60	MAA	Mahonia aquifolium	Oregon Grape Holly
53	PEA	Perovskia atriplicifolia	Russian Sage
3	POD	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark
20	PFP	Potentilla fruticosa 'Fargo'	Dakota Sunspot Potentilla
136	PRB	Prunus besseyi	Western Sandcherry
17	PRT	Prunus tomentosa	Nanking Cherry
276	RAG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac
27	RHT	Rhus trilobata	Three Leaf Sumac
10	RIA	Ribes aureum	Golden Currant
36	SYV	Syringa vulgaris	Common Purple Lilac

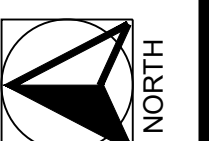
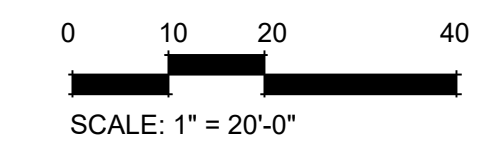
<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
50	HEM	Hemerocallis sp.	Daylily
140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamel'	Fountain Grass

### LEGEND

	PROPERTY BOUNDARY		LIGHT POLE
	6' WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.		MAIL KIOSK (QTY 2)
	3 RAIL WOOD FENCE		BENCH
	WATER LINES		PICNIC TABLE
	SANITARY SEWER		TRASH RECEPTACLE
	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

### NOTE:

- SEE SHEET 14 FOR GROUND PLANE
- SEE SHEET 36 FOR FENCING PLAN
- SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
- SEE SHEETS 37-44 FOR DETAILS AND SPECS



ENGINEERING:  
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10113 Inverness Main St. Suite T  
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PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1.	05/20/19	KLW	REVISIONS PER CITY COMMENTS
2.	07/12/19	KLW	REVISIONS PER CITY COMMENTS
3.	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			
6.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**28**  
OF 51

DAVI

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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
32	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
10	CRP	Crataegus phaenopyrum	Washington Hawthorn
7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
4	PRA	Prunus americana	American Plum
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
13	PUP	Pyrus ussuriensis 'Prairie Gem'	Prairie Gem Pear

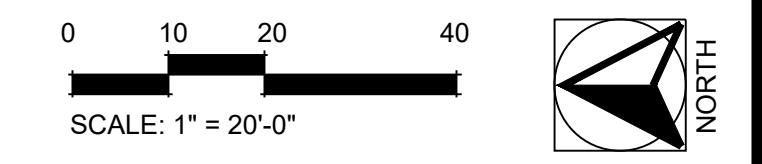
<b>SHRUBS</b>			
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
22	CEL	Cercocarpus ledifolius	Curly Leaf Mountain Mahogany
15	CEM	Cercocarpus montanus	Mountain Mahogany
153	CHN	Chrysothamnus nauseosus	Rabbitbrush
14	FAP	Fallugia paradoxa	Apache Plume
5	JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper
60	MAA	Mahonia aquifolium	Oregon Grape Holly
53	PEA	Perovskia atriplicifolia	Russian Sage
3	POD	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark
20	PFP	Potentilla fruticosa 'Fargo'	Dakota Sunspot Potentilla
136	PRB	Prunus besseyi	Western Sandcherry
17	PRT	Prunus tomentosa	Nanking Cherry
276	RAG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac
27	RHT	Rhus trilobata	Three Leaf Sumac
10	RIA	Ribes aureum	Golden Currant
36	SYV	Syringa vulgaris	Common Purple Lilac

<b>ORNAMENTAL GRASSES AND PERENNIALS</b>			
50	HEM	Hemerocallis sp.	Daylily
140	PAV	Panicum virgatum	Switchgrass
61	PAH	Pennisetum alopecuroides 'Hamel'	Fountain Grass

### LEGEND

- PROPERTY BOUNDARY
- 6' WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.
- 3 RAIL WOOD FENCE
- W WATER LINES
- SS SANITARY SEWER
- STORM SEWER
- TURF
- NATIVE SEED MIX
- LIGHT POLE
- ⊠ MAIL KIOSK (QTY 2)
- ▬ BENCH
- ⊞ PICNIC TABLE
- ⊗ TRASH RECEPTACLE
- ⊞ BIKE RACKS
- ⊞ BIKE STATION
- DOG SERVICE STATION

- NOTE:
- SEE SHEET 14 FOR GROUND PLANE
  - SEE SHEET 36 FOR FENCING PLAN
  - SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
  - SEE SHEETS 37-44 FOR DETAILS AND SPECS



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4.			
5.			
6.			
7.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

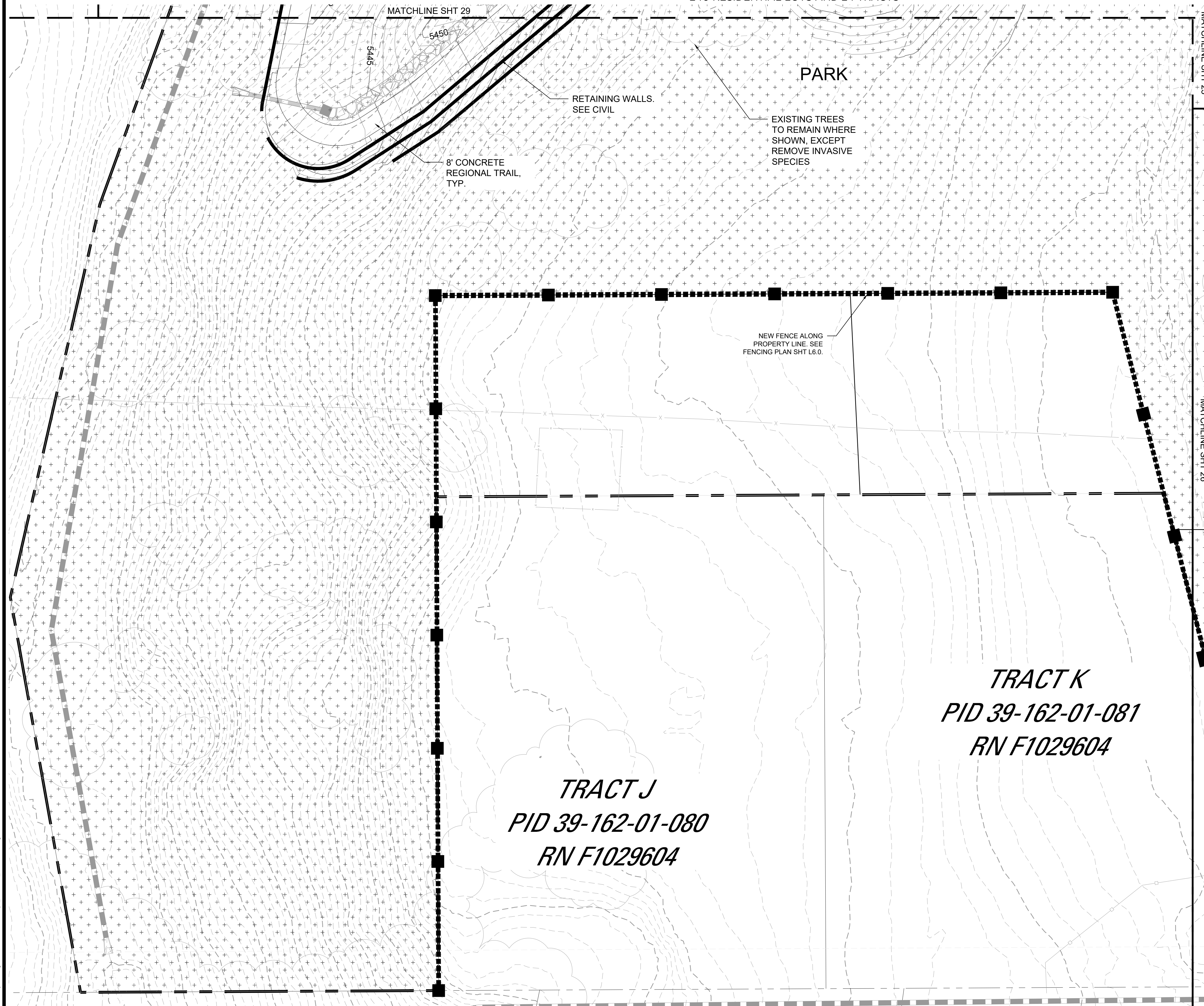
SUBMITTED ON:  
**08.22.2019**

**29**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GYD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koeleruteria paniculata	Golden Raintree
50	PLA	Platanus acerifolia	London Plaintree
9	POS	Populus sargentii	Plains Cottonwood
71	QUM	Quercus macrocarpa	Burr Oak
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust
33	TCG	Tilia cordata 'Greenspire'	Greenspire Linden

<b>EVERGREEN TREES</b>			
3	ABC	Abies concolor	White Fir
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper
5	PIP	Picea pungens	Colorado Spruce
9	PIE	Pinus edulis	Colorado Pinyon Pine
4	PIN	Pinus nigra	Austrian Pine
53	PIO	Pinus ponderosa	Ponderosa Pine

<b>ORNAMENTAL TREES</b>			
32	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
4	AMG	Acer ginnala	Amur Maple
10	CEC	Cercis canadensis	Eastern Redbud
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn
10	CRP	Crataegus phaenopyrum	Washington Hawthorn
7	MAH	Malus 'Hopa'	Hopa Crabapple
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple
4	PRA	Prunus americana	American Plum
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum
13	PJP	Pyrus ussuriensis 'Prairie Gem'	Prairie Gem Pear

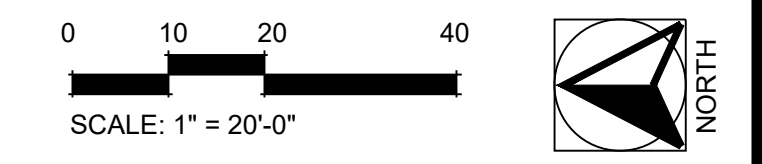
<b>SHRUBS</b>			
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea
22	CEL	Cercocarpus ledifolius	Curly Leaf Mountain Mahogany
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153	CHN	Chrysothamnus nauseosus	Rabbitbrush
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50	HEM	Hemerocallis sp.	Daylily
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**LEGEND**

	PROPERTY BOUNDARY		LIGHT POLE
	6' WROUGHT IRON FENCE WITH MASONRY COLUMNS 50' OC MAX.		MAIL KIOSK (QTY 2)
	3 RAIL WOOD FENCE		BENCH
	WATER LINES		PICNIC TABLE
	SANITARY SEWER		TRASH RECEPTACLE
	STORM SEWER		BIKE RACKS
	TURF		BIKE STATION
	NATIVE SEED MIX		DOG SERVICE STATION

- NOTE:**
- SEE SHEET 14 FOR GROUND PLANE
  - SEE SHEET 36 FOR FENCING PLAN
  - SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
  - SEE SHEETS 37-44 FOR DETAILS AND SPECS



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303.351.0040

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REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
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2	07/12/19	KLW	REVISIONS PER CITY COMMENTS
3	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4			
5			
6			
68			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**30**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

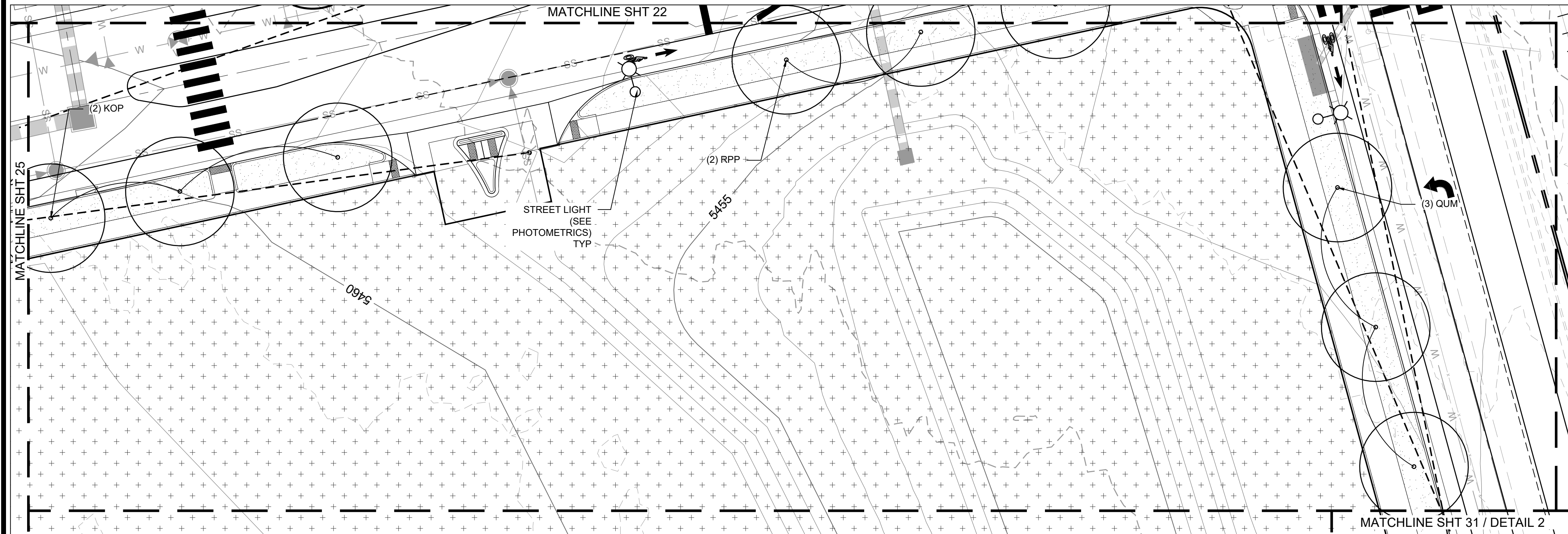
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240 RESIDENTIAL LOTS AND 24 TRACTS

PLANT SCHEDULE			
QTY	KEY	SCIENTIFIC NAME	COMMON NAME
<b>DECIDUOUS TREES</b>			
12	CAS	Catalpa speciosa	Western Catalpa
27	CEO	Celtis occidentalis	Western Hackberry
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
28	GVD	Gymnocladus dioica	Kentucky Coffeetree
49	KOP	Koelerutera paniculata	Golden Raintree
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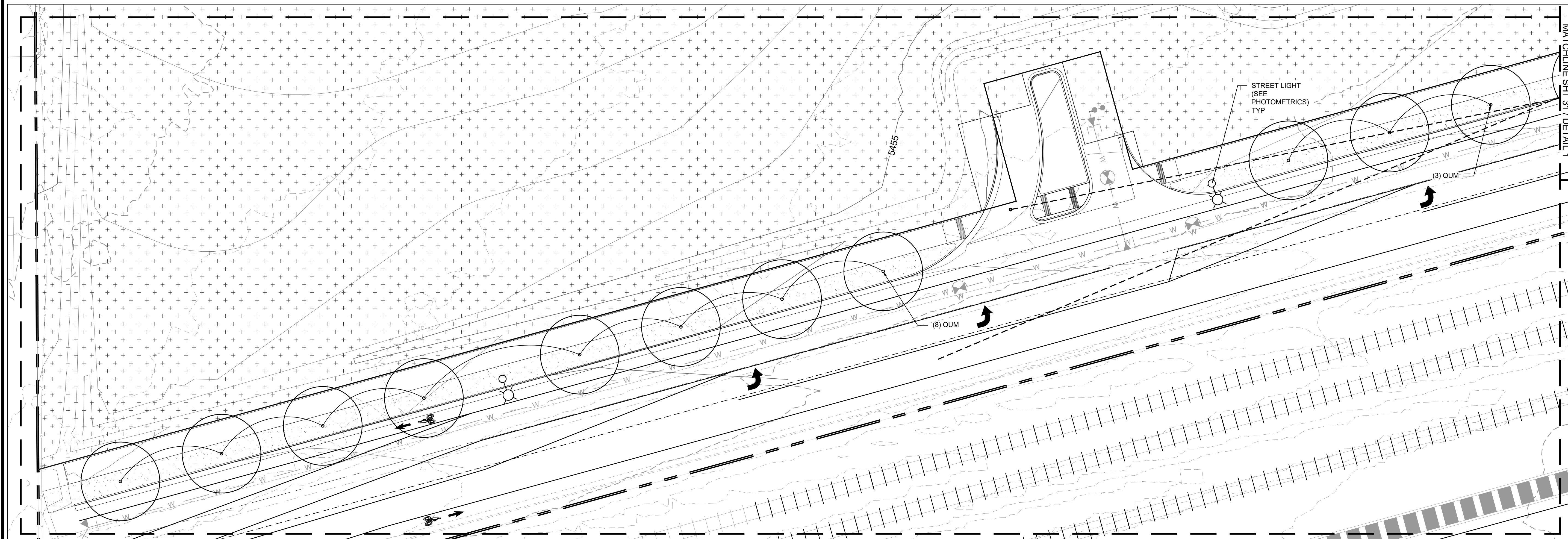
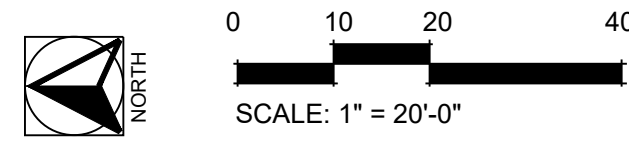
### LEGEND

- PROPERTY BOUNDARY
- WATER LINES
- SANITARY SEWER
- STORM SEWER
- LIGHT POLE
- NATIVE SEED

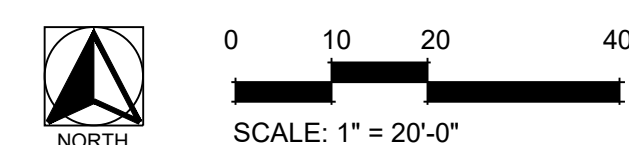
- NOTE:
- SEE SHEET L1.0 FOR GROUND PLANE
  - SEE SHEET L6.0 FOR FENCING PLAN
  - SYMBOLS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE
  - SEE SHEETS L7.0 - L7.8 FOR DETAILS AND SPECS



**1** ENLARGEMENT 1  
1" = 20'-0"



**2** ENLARGEMENT 2  
1" = 20'-0"



ENGINEERING:



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12500 W. 58th Ave. #230  
Arvada, CO 80002  
P: 720.638.5190  
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6.			
8.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE PLAN - ENLARGEMENT

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**31**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

### PLANT SCHEDULE

PLANT SCHEDULE					
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION
<b>DECIDUOUS TREES - TOTAL: 349</b>					
12	CAS	Catalpa speciosa	Western Catalpa	2" CAL.	B&B
27	CEO	Celtis occidentalis	Western Hackberry	2" CAL.	B&B
33	GTS	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2" CAL.	B&B
28	GYD	Gymnocladus dioicus	Kentucky Coffeetree	2" CAL.	B&B
49	KOP	Koeleruteria paniculata	Golden Raintree	2" CAL.	B&B
50	PLA	Platanus acerifolia	London Plaintree	2" CAL.	B&B
9	POS	Populus sargentii	Plains Cottonwood	2" CAL.	B&B
71	QUM	Quercus macrocarpa	Burr Oak	2" CAL.	B&B
13	QRF	Quercus robur 'Fastigiata'	Columnar English Oak	2" CAL.	B&B
23	RPP	Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust	2" CAL.	B&B
33	TCG	Tilia cordata 'Greenspire	Greenspire Linden	2" CAL.	B&B

<b>EVERGREEN TREES - TOTAL: 83</b>					
3	ABC	Abies concolor	White Fir	6' HT.	B&B
9	JUS	Juniperus scopulorum	Rocky Mountain Juniper	6' HT.	B&B
5	PIP	Picea pungens	Colorado Spruce	6' HT.	B&B
9	PIE	Pinus edulis	Colorado Pinyon Pine	6' HT.	B&B
4	PIN	Pinus nigra	Austrian Pine	6' HT.	B&B
53	PIO	Pinus ponderosa	Ponderosa Pine	6' HT.	B&B

<b>ORNAMENTAL TREES - TOTAL: 150</b>					
32	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" CAL.	B&B
4	AMG	Acer ginnala	Amur Maple	1.5" CAL.	B&B
10	CEC	Cercis canadensis	Eastern Redbud	1.5" CAL.	B&B
15	CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	1.5" CAL.	B&B
10	CRP	Crataegus phaenopyrum	Washington Hawthorn	1.5" CAL.	B&B
7	MAH	Malus 'Hopa'	Hopa Crabapple	1.5" CAL.	B&B
26	MHO	Malus 'Honeycrisp'	Honeycrisp Apple	1.5" CAL.	B&B
16	MSS	Malus 'Spring Snow'	Spring Snow Crabapple	1.5" CAL.	B&B
4	PRA	Prunus americana	American Plum	1.5" CAL.	B&B
4	PMR	Prunus 'Mount Royal'	Mount Royal Plum	1.5" CAL.	B&B
13	PUP	Pyrus ussuriensis 'Prairie Gem'	Prairie Gem Pear	1.5" CAL.	B&B

<b>SHRUBS - TOTAL: 819</b>					
49	CAC	Caryopteris x clandonensis	Blue Mist Spirea	5 GAL.	CONTAINER
22	CEL	Cercocarpus ledifolius	Curl Leaf Mountain Mahogany	5 GAL.	CONTAINER
15	CEM	Cercocarpus montanus	Mountain Mahogany	5 GAL.	CONTAINER
153	CHN	Chrysothamnus nauseosus	Rabbitbrush	5 GAL.	CONTAINER
14	FAP	Fallugia paradoxa	Apache Plume	5 GAL.	CONTAINER
5	JHB	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 GAL.	CONTAINER
60	MAA	Mahonia aquifolium	Oregon Grape Holly	5 GAL.	CONTAINER
53	PEA	Perovskia atriplicifolia	Russian Sage	5 GAL.	CONTAINER
3	POD	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	5 GAL.	CONTAINER
20	PFP	Potentilla fruticosa 'Fargo'	Dakota Sunspot Potentilla	5 GAL.	CONTAINER
136	PRB	Prunus besseyi	Western Sandcherry	5 GAL.	CONTAINER
17	PRT	Prunus tomentosa	Nanking Cherry	5 GAL.	CONTAINER
276	RAG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 GAL.	CONTAINER
5	RGC	Rhus glabra 'Cismontana'	Rocky Mountain Sumac	5 GAL.	CONTAINER
27	RHT	Rhus trilobata	Three Leaf Sumac	5 GAL.	CONTAINER
10	RIA	Ribes aureum	Golden Currant	5 GAL.	CONTAINER
36	SYV	Syringa vulgaris	Common Purple Lilac	5 GAL.	CONTAINER

<b>ORNAMENTAL GRASSES AND PERENNIALS - TOTAL: 190</b>					
50	HEM	Hemerocallis sp.	Daylily	1 GAL.	CONTAINER
140	PAV	Panicum virgatum	Switchgrass	1 GAL.	CONTAINER
61	PAH	Pennisetum alopecuroides 'Hameln'	Fountain Grass	1 GAL.	CONTAINER

### LANDSCAPE NOTES CONT.

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE OWNER, SUCCESSORS, AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLANS ON FILE WITH THE CITY PLANNING DEPARTMENT. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLANS PRIOR TO THE ISSUANCE FOR THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL VERIFY (CALL FOR UTILITY LOCATES) LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTling DUE TO EXCAVATION AND TRENCHING.
- CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/ OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED PRIOR TO CONSTRUCTION SHALL BE COLLECTED, SAVED, AND PROTECTED FOR LATER USE ON AREAS REQUIRING REVEGETATION (SEED) AND/ OR LANDSCAPING.
- ALL TURF AND PLANTING BED AREAS SHALL RECEIVE SOIL PREPARATION AT A RATE OF (3) THREE CUBIC YARDS PER 1,000 SQUARE FEET.
- STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TURF AREAS. EDGER SHALL BE GALVANIZED STEEL, ROLLED TOP EDGE, AND INTERLOCKING. EDGER IS NOT NECESSARY ADJACENTLY-PARALLEL TO CURBS, WALLS, AND WALKS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" DEPTH RIVER ROCK SIZED AT 1" TO 6" FOR SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. 3" DEPTH SHREDDED CEDAR MULCH FOR ANNUALS, OR OTHER MULCHES AS NOTED. LINE ALL ROCK MULCH BEDS WITH LANDSCAPE FABRIC.
- ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
- ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/ OR THE CITY/ COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
- THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, OWNER, OR CITY/ COUNTY.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 4'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH SHREDDED CEDAR MULCH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO LANDSCAPE FABRIC OR EDGER IS NECESSARY FOR TREE RINGS.
- ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM.
- THE PROJECT'S LANDSCAPE WILL BE WATER CONSERVATIVE BY SELECTING PLANTS FROM THE CITY'S RECOMMENDED LIST, LIMITING HIGH WATER-DEMAND LANDSCAPES TO HIGH PEDESTRIAN ACTIVITY, TREE LAWNS, PRIMARY ENTRANCE FEATURING, OR IN SINGLE FAMILY LOT FRONT YARDS, USING A LOW WATER USE TURF, GROUPING PLANT MATERIAL ACCORDING TO WATER NEEDS, PROVIDING SOIL AMENDMENTS (SEE NOTE 10), AND USING THE APPROPRIATE IRRIGATION FOR EACH HYDROZONE (SEE NOTE 19), RAIN SENSORS, AND PROGRAMMABLE IRRIGATION CLOCK.
- ALL CITY OWNED IMPROVEMENTS WILL BE CONSISTENT WITH THE CITY'S STANDARD SPECIFICATIONS.
- ALL PLAY EQUIPMENT DESIGN WILL SATISFY ALL CPSC GUIDELINES AND ALL ASTM STANDARDS.
- ALL PLANTS SHALL BE MAINTAINED CONTINUALLY IN A HEALTHY CONDITION IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL HORTICULTURAL STANDARDS AND PRACTICES. PLANTS THAT DIE OR ARE UNHEALTHY SHALL BE REPLACED. REGULAR PRUNING AND TRIMMING SHALL APPLY TO MAINTAIN HEALTH AND AN ATTRACTIVE APPEARANCE AND TO PERMIT THE PLANTS TO ACHIEVE THEIR INTENDED FORM AND HEIGHT. LANDSCAPE AREAS SHALL REMAIN FREE OF WEEDS, LITTER, JUNK, RUBBISH AND OTHER NUISANCES AND OBSTRUCTIONS. TO PREVENT WEED GROWTH, EROSION AND BLOWING DUST, AREAS NOT COVERED BY VEGETATION SHALL BE COVERED WITH MULCH, WOOD OR BARK CHIPS, OR DECORATIVE ROCKS OR COBBLE, OR SIMILAR NATURAL MATERIALS PROVIDING A CLEAN, UNIFORM APPEARANCE.
- DURING TRAIL CONSTRUCTION, TOPSOIL TO BE SALVAGED AND AREA OF DISTURBANCE TO RECEIVE REVEGETATION.
- LOCALLY GROWN PLANT MATERIALS PREFERRED OVER NON-LOCALLY GROWN PLANT MATERIAL FOR LANDSCAPING.
- A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND THERE SHALL BE NO OBSTRUCTIONS DIRECTLY IN FRONT OF FIRE HYDRANTS.
- ALL TREES WITHIN THIS DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES AND ALL LANDSCAPING SHALL NOT ENCRoACH ON THE REQUIRED EVA WIDTH.
- XCEL RESERVES THE RIGHT TO TRIM, CUT, FILL OR REMOVE OR MAINTAIN ANY LANDSCAPING WHICH MAY INTERFERE WITH LANDLORD'S ELECTRIC TRANSMISSION FACILITIES.
- CONTRACTOR SHALL COMPLY WITH XCEL'S HIGH VOLTAGE TRANSMISSION LINE CLEARANCE STANDARD.

ENGINEERING:



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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY	
			KLW	KLW
1	REVISIONS PER CITY COMMENTS	05/20/19		
2	REVISIONS PER CITY COMMENTS	07/12/19		
3	REVISIONS PER CITY COMMENTS	08/22/19		
4				
5				
6				
7				
8				

SHEET INFO:

**HASKINS STATION**  
**FINAL DEVELOPMENT PLAN**  
**PLANT SCHEDULE & LANDSCAPE NOTES**

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**32**  
OF 51



# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

### WEED MANAGEMENT NOTES

1. ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
2. HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. A NON-SELECTIVE HERBICIDE SUCH AS ROUND-UP PRO OR AN APPROVED EQUAL SHALL BE APPLIED TO ALL EXPOSED AREAS TO BE SEEDED IF THERE IS ANY PRESENCE OF WEED GROWTH PRIOR TO SURFACE ROUGHENING FOR PERMANENT SEEDING AND MULCHING. ROUND-UP PRO SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
4. HERBICIDES SHALL BE APPLIED DURING GROWING SEASONS WHEN TARGET PLANTS ARE ACTIVELY GROWING.
5. ROUND-UP PRO SHALL BE APPLIED WHEN THE PROBABILITY OF FORECASTED RAINFALL IS MINIMAL FOR A PERIOD OF 48 HOURS.
6. A PERIOD OF 48 HOURS SHALL PASS AFTER THE HERBICIDE APPLICATION BEFORE THE TREATED AREAS ARE SURFACE ROUGHENED, SEEDDED, AND MULCHED.
7. AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS AND ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. GRASS PLANTS NEED TO BE AT A MINIMUM OF THE THREE-TILLER STAGE, OR 6 TO 8 INCHES IN HEIGHT, PRIOR TO THE HERBICIDE APPLICATION. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS.
8. HERBICIDE TREATMENTS SHALL CONTINUE AT A RATE OF TWO TIMES PER YEAR UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING.

### SEEDING & MULCHING INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF SEEDING AND MULCHING, AND TYPE OF SEED MIX.
2. SEED MIXES SHALL CONFORM TO CITY OF ARVADA SEED MIXES OR AS OTHERWISE SPECIFIED.
3. PERMANENT SEEDING IN AREAS THAT ARE NOT IRRIGATED MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS WORKABLE AND NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHALL BE AVOIDED IF POSSIBLE.
4. ALL SEED MIXES SHALL BE FREE OF NOXIOUS WEEDS. PROOF SHALL BE IN THE FORM OF ORIGINAL CERTIFICATION AND SHALL BE MADE AVAILABLE AT THE INSPECTOR'S REQUEST.
5. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTABLE.
6. ALL AREAS TO BE SEEDDED AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING INSTALLATION NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER THE SPREADING OF THE TOPSOIL. AREAS THAT HAVE NOT BEEN PROPERLY ROUGHENED SHALL BE REJECTED.
7. SEED IS TO BE APPLIED USING A RANGELAND DRILL SEEDER. SEED SHALL BE PLACED AT A DEPTH OF 1/4 TO 1/2 INCH. ROW SPACING SHALL BE NO MORE THAN 6 INCHES. THE USE OF GRAIN DRILL SEEDERS, MECHANICAL BROADCAST SEEDERS, DRUM SEEDERS, OR ANY OTHER TYPE OF SEEDER IS STRICTLY PROHIBITED.
8. ALL AREAS INCAPABLE OF BEING DRILL SEEDDED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR HARD-TIPPED RAKE. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDDED RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT ALL SEEDS ARE BURIED TO A DEPTH OF 1/4 TO 1/2 INCH. AREAS THAT HAVE NOT BEEN PROPERLY ROUGHENED SHALL BE REJECTED.
9. AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES. STRAW OR HAY IN A STAGE OF DECOMPOSITION (DISCOLORED, BRITTLE, ROTTEN, OR MOLDY) OR OLD, DRY MULCH WHICH BREAKS DURING THE APPLICATION OR CRIMPING PROCESS WILL NOT BE ACCEPTED.
10. THE SEEDDED AREA SHALL BE MULCHED AND CRIMPED WITHIN FOUR HOURS AFTER SEEDING. AREAS NOT MULCHED AND CRIMPED WITHIN FOUR HOURS AFTER SEEDING OR PRIOR TO PRECIPITATION OR WINDY CONDITIONS ON SITE SHALL BE RESEEDDED WITH THE SPECIFIED SEED MIX PRIOR TO MULCHING AND CRIMPING.
11. IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
12. MULCH SHALL CONSIST OF CERTIFIED WEED FREE FIELD OR MARSH STRAW OR HAY DERIVED FROM OATS, BARLEY, WHEAT, RYE, OR TRITICALE.
13. MULCH SHALL BE INSPECTED FOR AND REGIONALLY CERTIFIED AS WEED FREE BASED ON THE REGIONALLY DESIGNATED NOXIOUS WEED AND UNDESIRABLE PLANT LIST FROM COLORADO, WYOMING, MONTANA, NEBRASKA, UTAH, IDAHO, KANSAS, SOUTH DAKOTA OR ANY OTHER STATE NOT LISTED THAT SERVED AS THE PLACE OF ORIGIN FOR THE STRAW MULCH.
14. THE CONTRACTOR SHALL PROVIDE A TRANSIT CERTIFICATE THAT HAS BEEN FILLED OUT AND SIGNED BY THE GROWER AND BY THE DEPARTMENT OF AGRICULTURE INSPECTOR.
15. THE CONTRACTOR MAY OBTAIN A CURRENT LIST OF COLORADO WEED FREE FORAGE CROP PRODUCERS WHO HAVE COMPLETED CERTIFICATION BY CONTACTING THE COLORADO DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY.

#### SEEDING & MULCHING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE SEEDING AND MULCHING AND MAKE ANY NECESSARY REPAIRS AT THE FOLLOWING INTERVALS:
  - IMMEDIATELY FOLLOWING INITIAL INSTALLATION.
  - EVERY 14 DAYS WHILE THE SITE IS UNDER ACTIVE CONSTRUCTION.
  - IMMEDIATELY FOLLOWING ANY STRONG WINDS.
  - IMMEDIATELY FOLLOWING ANY SIGNIFICANT STORM EVENT.
  - ONCE A MONTH FOLLOWING THE END OF CONSTRUCTION, UNTIL THE REVEGETATION MEETS THE CITY REQUIREMENTS.
2. ANY SEEDDED AND MULCHED AREAS THAT BECOME DAMAGED IN ANY WAY SHALL BE REPAIRED WITHIN THE TIME FRAME GIVEN BY THE OWNER.
3. PERMANENTLY VEGETATED AREAS SHALL BE MOWED ONCE PER YEAR, FOR THE FIRST TWO YEARS FROM THE TIME OF INITIAL SEEDING. MOWING SHALL OCCUR BETWEEN OCTOBER 15 AND NOVEMBER 15 OF EACH YEAR.
4. SEEDDED AREAS SHALL BE EVALUATED AFTER ONE GROWING SEASON TO DETERMINE WHETHER ADDITIONAL MAINTENANCE AND/OR WEED CONTROL WILL BE REQUIRED. ACCEPTANCE OF SEEDDED AREAS AFTER THE SECOND GROWING SEASON SHALL DEPEND UPON WHETHER A SATISFACTORY STAND OF GRASS IS EVIDENT AND WEEDS HAVE BEEN CONTROLLED. A SATISFACTORY STAND OF GRASS IS DEFINED AS A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION.

### SEED MIXES

Seed shall be labeled in accordance with the U.S. Department of Agriculture, Rules and Regulations and the Federal Seed Act. Seed shall be equal in quality to the standards for "Certified Seed" and shall be furnished in the sealed unopened, standard containers. Seed shall be fresh, clean, pure live seed with the following varieties, mixed in proportions by weight shown and meeting the minimum percentages of purity and germination specified.

**Native Seed Mix** - PBSI Foothills Native Mix 25 lbs/acre or .57lb/1000 sq. feet  
(Double application rate if broadcasting by hand)  
- within designed irrigated and non-irrigated native seed areas on plan

(10%) Indian Ricegrass	(5%) Blue Grama	(15%) Switchgrass	(10%) Arizona/Idaho Fescue
(10%) Little Bluestem	(7.5%) Yellow Indiangrass	(10%) Bluebunch Wheatgrass	(10%) Big Bluestem
(10%) Thickspike Wheatgrass	(10%) Sideoats Grama	(2.5%) Sand Dropseed	

**Wetland Seed Mix** - PBSI Prairie Wetland Mix - 10 lb/acre or .23lb/1000 sq. ft.  
(Double application rate if broadcasting by hand)  
- within and less than 5'-0" from the high water elevation of detention basin or water quality pond.

(12%) Alkali Bulrush	(12%) Switchgrass	(12%) Canada Wildrye
(12%) Prairie Cordgrass	(8%) Softstem Bulrush	(8%) Nebraska Sedge
(8%) Three Square Bulrush	(8%) Nuttall's Alkaligrass	(8%) Creeping Spikerush
(6%) Meadow Sedge	(2%) Popcorn Sedge	(2%) Indian Grass
(2%) Baltic Rush	(2%) Big Bluestem	(1.5%) Torrey's Rush
(1%) Marsh Sunflower	(1%) Yellow Monkey Flower	(0.5%) Colorado Rush

Seed shall be applied at a rate shown by mix. Seed shall pass government test for germination of eighty percent (80%) and for purity of ninety percent (90%). The Pure Live Seed shall not be less than 67.5% for any one variety, with the average of the mixture, no less than seventy two percent (72%). All seed shall be free of Poa annua and all noxious objectionable weeds with a maximum crop of .10% and maximum weed of .10%. If seed available on the market does not meet the minimum purity and germination percentages specified, the Contractor must compensate by furnishing sufficient additional seed to equal the specified product. Product comparison shall be made on the basis of pure live seed in pounds. The formula for determining the quality of pure live seed (PLS) shall be:

Pounds of Seed x (% Purity x % Germination) = pounds of Pure Live Seed (PLS)

### IRRIGATION NOTES

The landscape plan shall label or note the type of irrigation to be applied to each plant hydrozone to ensure that plants receive only the needed water. In addition, the plan shall include:

- a. a rain sensor with automatic shut-off of the system during periods of high moisture;
- b. a drip, sub-surface, bubbler or low volume irrigation system for all planting strips less than 8' wide and all planting beds involving trees, shrubs, perennials and groundcover; and
- c. An irrigation clock which allows programming to meet the differential needs of the specified planting plan.

### SEEDING & MULCHING INSTALLATION NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE SEEDING AND MULCHING AND MAKE ANY NECESSARY REPAIRS AT THE FOLLOWING INTERVALS:
  - IMMEDIATELY FOLLOWING INITIAL INSTALLATION.
  - EVERY 14 DAYS WHILE THE SITE IS UNDER ACTIVE CONSTRUCTION.
  - IMMEDIATELY FOLLOWING ANY STRONG WINDS.
  - IMMEDIATELY FOLLOWING ANY SIGNIFICANT STORM EVENT.
  - ONCE A MONTH FOLLOWING THE END OF CONSTRUCTION, UNTIL THE REVEGETATION MEETS THE CITY REQUIREMENTS.
2. SLOPES OF 4:1 OR STEEPER SHALL RECEIVE EROSION CONTROL BLANKETS.
3. ANY SEEDDED AND MULCHED AREAS THAT BECOME DAMAGED IN ANY WAY SHALL BE REPAIRED WITHIN THE TIME FRAME GIVEN BY THE OWNER.
4. PERMANENTLY VEGETATED AREAS SHALL BE MOWED ONCE PER YEAR, FOR THE FIRST TWO YEARS FROM THE TIME OF INITIAL SEEDING. MOWING SHALL OCCUR BETWEEN OCTOBER 15 AND NOVEMBER 15 OF EACH YEAR.
5. SEEDDED AREAS SHALL BE EVALUATED AFTER ONE GROWING SEASON TO DETERMINE WHETHER ADDITIONAL MAINTENANCE AND/OR WEED CONTROL WILL BE REQUIRED. ACCEPTANCE OF SEEDDED AREAS AFTER THE SECOND GROWING SEASON SHALL DEPEND UPON WHETHER A SATISFACTORY STAND OF GRASS IS EVIDENT AND WEEDS HAVE BEEN CONTROLLED. A SATISFACTORY STAND OF GRASS IS DEFINED AS A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION.
6. THE USE OF PERMANENT AND/OR TEMPORARY IRRIGATION FOR SEED ESTABLISHMENT WILL BE DETERMINED WITH FUTURE PDP SUBMITTALS.

ENGINEERING:



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REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY	
			KLW	KLW
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLW	
2.	REVISIONS PER CITY COMMENTS	07/12/19	KLW	
3.	REVISIONS PER CITY COMMENTS	08/22/19	KLW	
4.				
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SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE NOTES

PROJECT NO:

**0049-1613**

DRAWN BY:

**XXX**

DESIGNED BY:

**XXX**

SCALE:

**NA**

SUBMITTED ON:

**08.22.2019**

**33**

**OF 51**

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES PLAN NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

ALL EXISTING TREES SOUTH OF THIS LINE TO BE REMOVED EXCEPT WHERE NOTED. ALL EXISTING TREE TO THE NORTH TO REMAIN EXCEPT REMOVE ALL RUSSIAN OLIVE



ALL EXISTING TREES WITHIN BOUNDARY TO REMAIN EXCEPT REMOVE ALL RUSSIAN OLIVE

ALL EXISTING TREES WITHIN BOUNDARY TO REMAIN EXCEPT REMOVE ALL RUSSIAN OLIVE

### MITIGATION NOTES:

1. COTTONWOOD "VOLUNTEERS" IN POOR CONDITION DUE TO DROUGHT.
2. SIBERIAN ELMS, IN SOME JURISDICTIONS, ARE CONSIDERED A "WEED" TREE DUE TO SEEDING IN UNPLANNED LOCATIONS. ALSO, STRUCTURAL ISSUES ARE COMMON (POOR STRUCTURE, INCLUDED BARK, ETC.).
3. RUSSIAN OLIVES ARE LISTED AS A "NOXIOUS WEED" BY THE COLORADO DEPT. OF AGRICULTURE, AND NOT INCLUDED IN THE INVENTORY.
4. WILLOWS (TREE FORM) ARE IN POOR CONDITION DUE TO EXTENDED DROUGHT.
5. ALL ASH WERE FROM OFF-SITE SEED SOURCES. NO MATURE ASH WERE FOUND. CONSIDER REMOVAL DUE TO THREAT OF EMERALD ASH BORER.
6. APPLE (CRAB APPLE?) WERE IN GENERALLY GOOD CONDITION. NONE APPEARED TO HAVE BEEN PLANTED AS PART OF ANY ORCHARD OR LANDSCAPING.
7. STAG HORN SUMAC WERE FOUND ALONG THE WEST FENCE LINE, AND MAY BE OFF-SITE
8. TREES IDENTIFIED AS "HAZARDOUS" SHOULD BE REMOVED, AND NOT RETAINED IF LOCATED IN A BUILT ENVIRONMENT, OR PARK/TRAIL LOCATIONS.

SUMMARY		
SHEET #	CALIPER INCHES	MITIGATION INCHES
1	739	14.6
2	526	1.9
3	676	4.5
4	254	1.5
5	851	3.8
6	361	19.4
7	531	29.3
8	205	9.5
9	554	45
TOTAL	4,697	129.5

MITIGATION INCHES ADJUSTED FOR CONDITION AND SPECIES ONLY. TO INCLUDE VALUES ABOVE 0 FOR MOST TREES WHICH ARE NOT RUSSIAN OLIVE

### TREE MITIGATION

REQ'D MITIGATION (ADJUSTED):	107.6"
REQ'D # OF 2" CAL. MITIGATION TREES:	53 TREES
PROPOSED # MITIGATION TREES:	53 TREES

SEE ADDENDUM FOR DETAILED TREE DATA

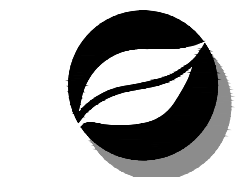
ENGINEERING:



**KT ENGINEERING**  
12520 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:

**acdc**  
architecture design collaborate  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.acdcollaborative.com  
303.351.0040



**Consilium Design**  
LAND PLANNING AND  
LANDSCAPE ARCHITECTURE  
2755 South Locust St. Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05.20.19	KLW	REVISIONS PER CITY COMMENTS
2.	07.12.19	KLW	REVISIONS PER CITY COMMENTS
3.	08.22.19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			
8.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
TREE MITIGATION PLAN

PROJECT NO:  
**0049-1613**

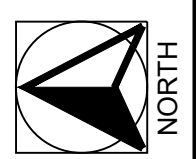
DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NTS**

SUBMITTED ON:  
**08.22.2019**

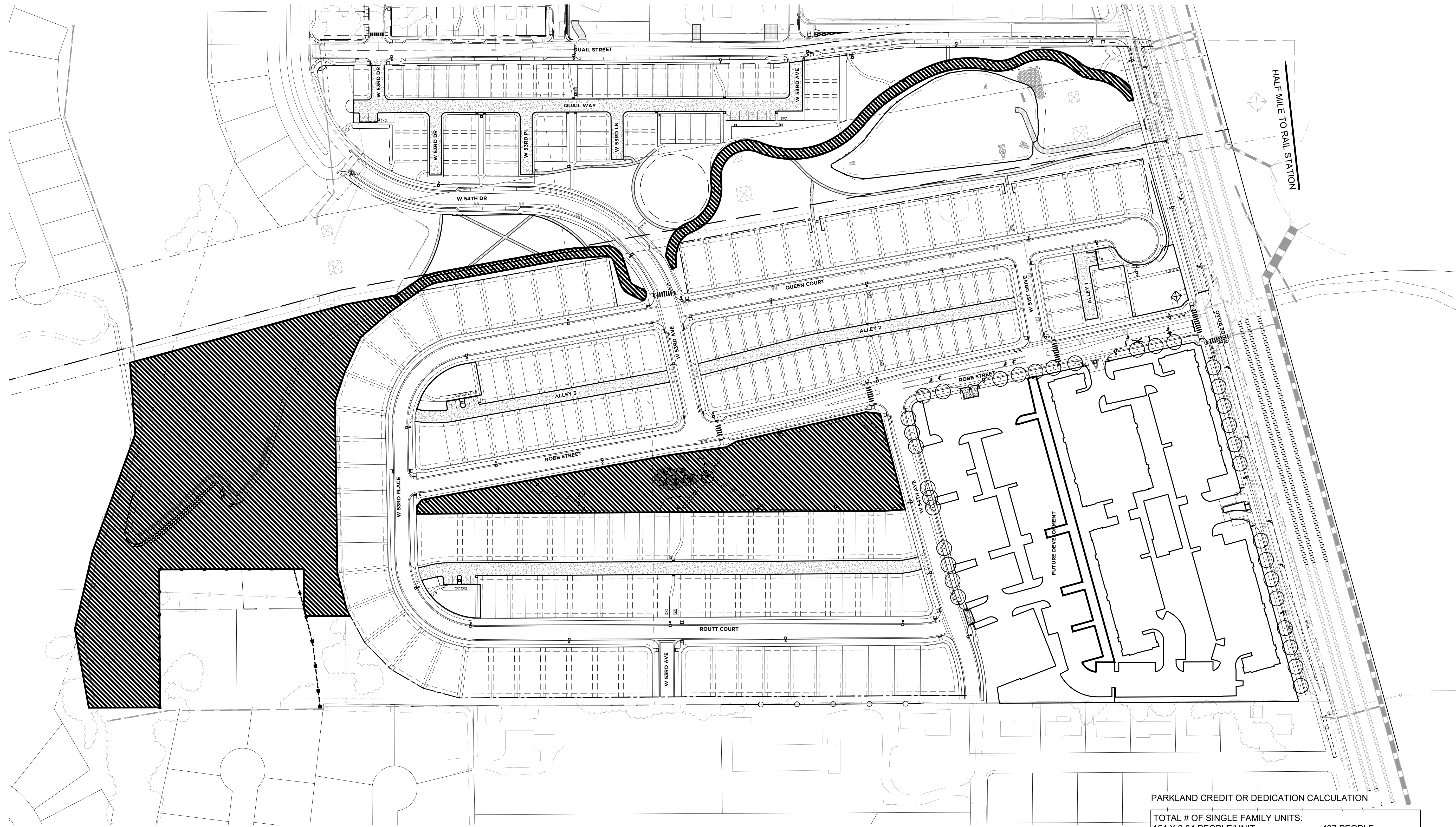
**34**  
OF 51



# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



0 50 100 200  
SCALE: 1" = 100'-0"

PARKLAND DEDICATION		
	REQUIRED	PROVIDED
PARKLAND DEDICATION (OR CREDIT IN LIEU)	10.01 ACRES	8.50 ACRES
TRAIL EASEMENT DEDICATION EQUIVALENT		0.80 ACRES
TOTAL DEDICATION		9.30 ACRES

NOTE: BALANCE FULFILLED BY IMPROVEMENTS EQUAL TO CASH IN LIEU

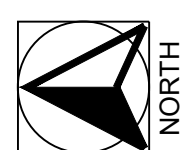
### PARKLAND CREDIT OR DEDICATION CALCULATION

TOTAL # OF SINGLE FAMILY UNITS: 154 X 2.84 PEOPLE/UNIT = 437 PEOPLE  
REQUIRED ACREAGE DEDICATION: 4.37 ACRES

SINGLE FAMILY ATTACHED UNITS: 86 UNITS X 1.87 PEOPLE/UNIT = 161 PEOPLE  
REQUIRED ACREAGE DEDICATION: 1.61 ACRES

MULTI-FAMILY UNITS WITHIN 0.5 MILE OF TRANSIT STATION: 237 UNITS X 1.7 PEOPLE/UNIT = 403 PEOPLE  
REQUIRED ACREAGE DEDICATION: 4.03 ACRES

REQUIRED: 10 ACRES PER 1000 PEOPLE:  
TOTAL PEOPLE = 1001 PEOPLE  
TOTAL PARK AREA REQUIRED = 10.01 ACRES



ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12500 W. 58th Ave #230  
Arvada, CO 80002  
P: 720-638-5190  
www.kting.net

ARCHITECTURE / PLANNING:  
**adco**  
**architecture design collaborate**  
10113 Inverness Main St, Suite T  
Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040

**Consilium Design**  
LAND PLANNING AND  
LANDSCAPE ARCHITECTURE  
2755 South Locust St, Suite 236  
Denver, CO 80222  
Ph: 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05.20.19	KLW	REVISIONS PER CITY COMMENTS
2.	07.12.19	KLW	REVISIONS PER CITY COMMENTS
3.	08.22.19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### PARK LAND DEDICATION PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**1" = 100'**

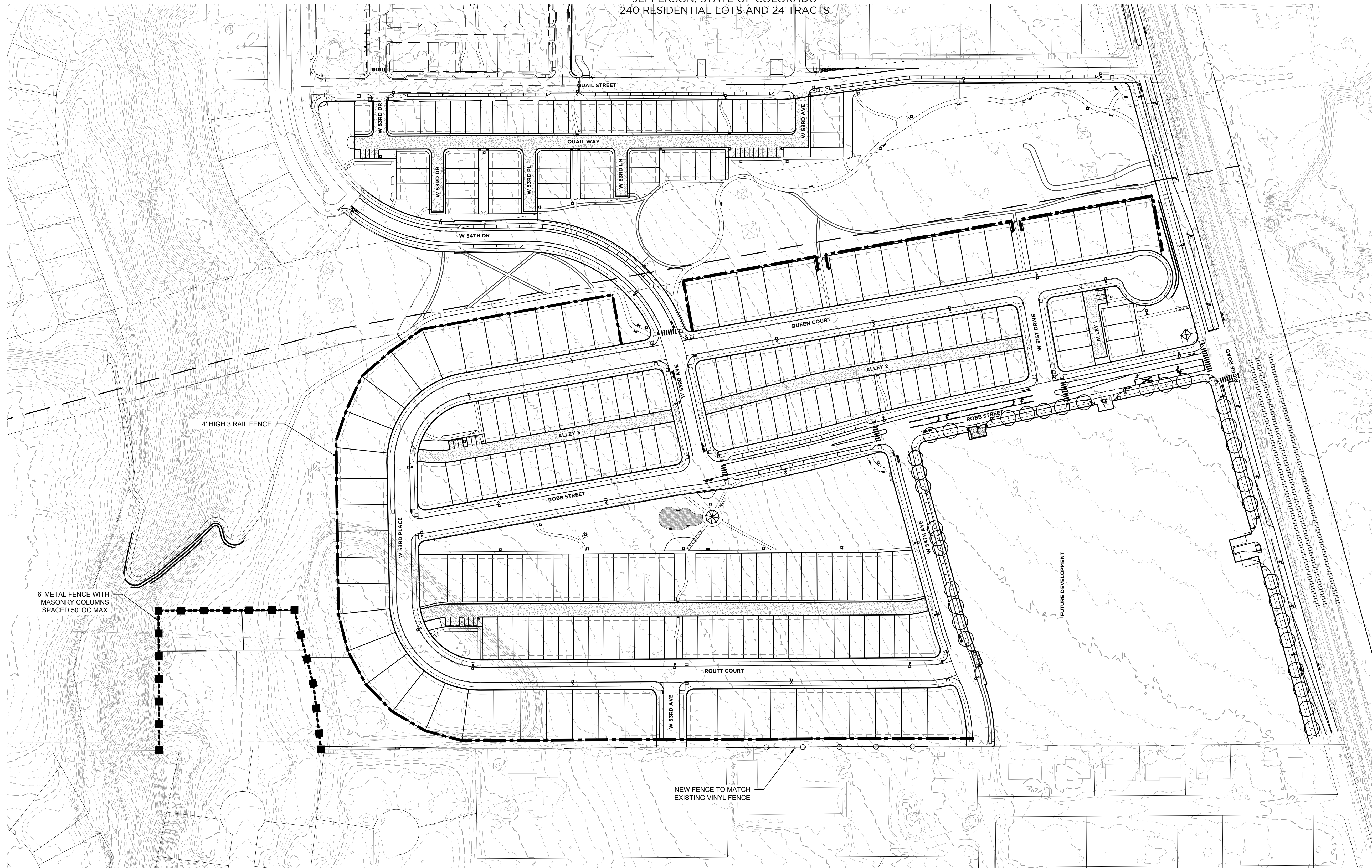
SUBMITTED ON:  
**08.22.2019**

**35**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



6' METAL FENCE WITH MASONRY COLUMNS SPACED 50' OC MAX.

4' HIGH 3 RAIL FENCE

NEW FENCE TO MATCH EXISTING VINYL FENCE

FUTURE DEVELOPMENT

**NOTES:**

- NEW PROPOSED FENCE ALONG PROP TO MATCH EXISTING VINYL FENCE TO BE LOCATED ON PRIVATE PROPERTY IN WHEAT RIDGE AND TO MEET ALL WHEAT RIDGE FENCING REQUIREMENTS.
- SEE LOT TYPICALS FOR FENCING RESTRICTIONS ON SPECIFIC LOT TYPES.

- PROPOSED FENCE ALONG PROP TO MATCH EXISTING VINYL FENCE
- 6' METAL FENCE WITH MASONRY COLUMNS 50' OC MAX. SEE DETAIL 2 SHT L7.0
- 4' HIGH 3 RAIL FENCE SEE DETAIL 1 SHT L7.0

ENGINEERING:



**KT ENGINEERING**  
12500 W. 58th Ave #230  
Arvada, CO 80002  
P: 720-638-5190  
www.kting.net

ARCHITECTURE / PLANNING:

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PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLW
2.	REVISIONS PER CITY COMMENTS	07/12/19	KLW
3.	REVISIONS PER CITY COMMENTS	08/22/19	KLW
4.			
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6.			

SHEET INFO:

# HASKINS STATION FINAL DEVELOPMENT PLAN FENCING PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

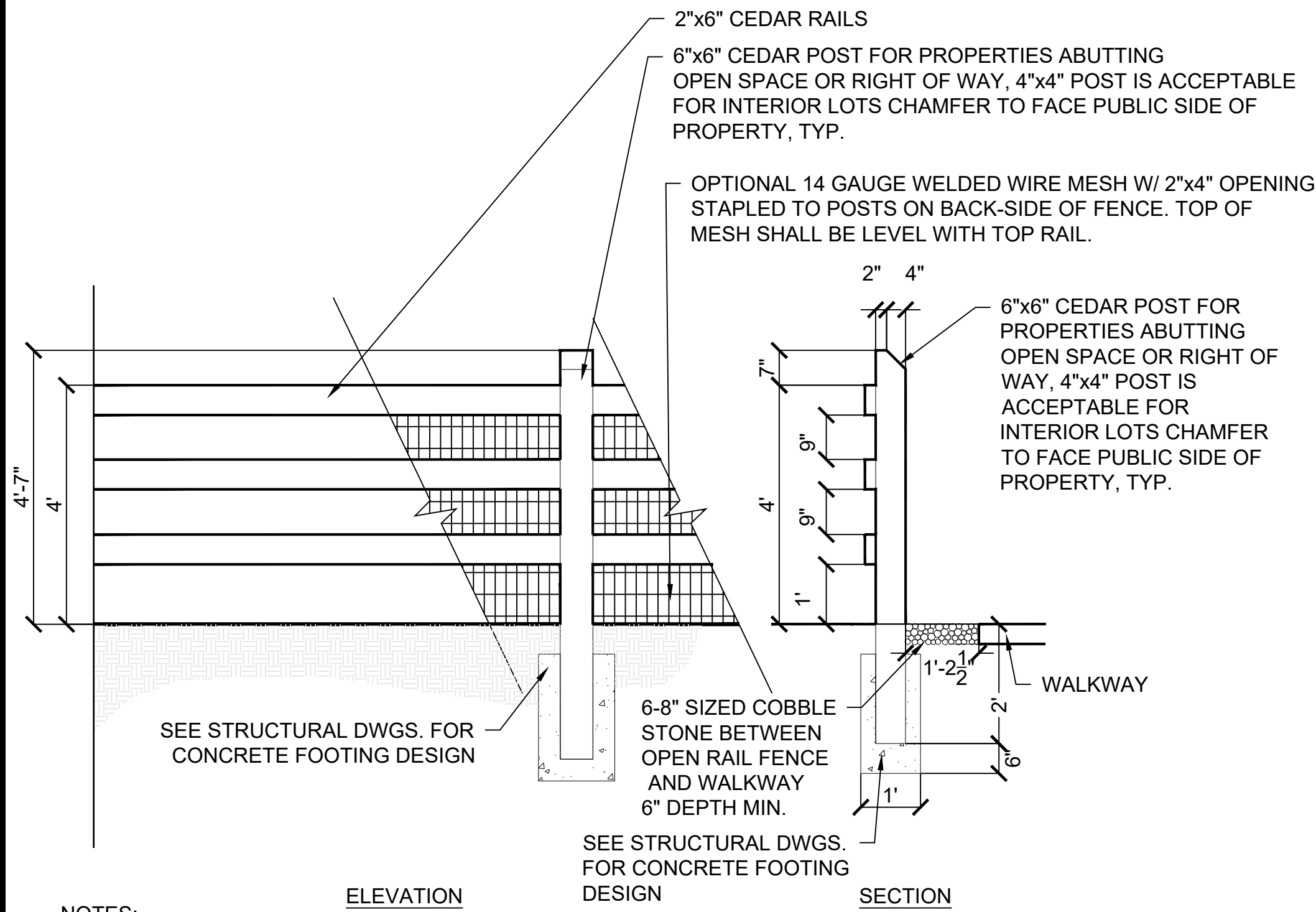
SUBMITTED ON:  
**08.22.2019**

**36**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



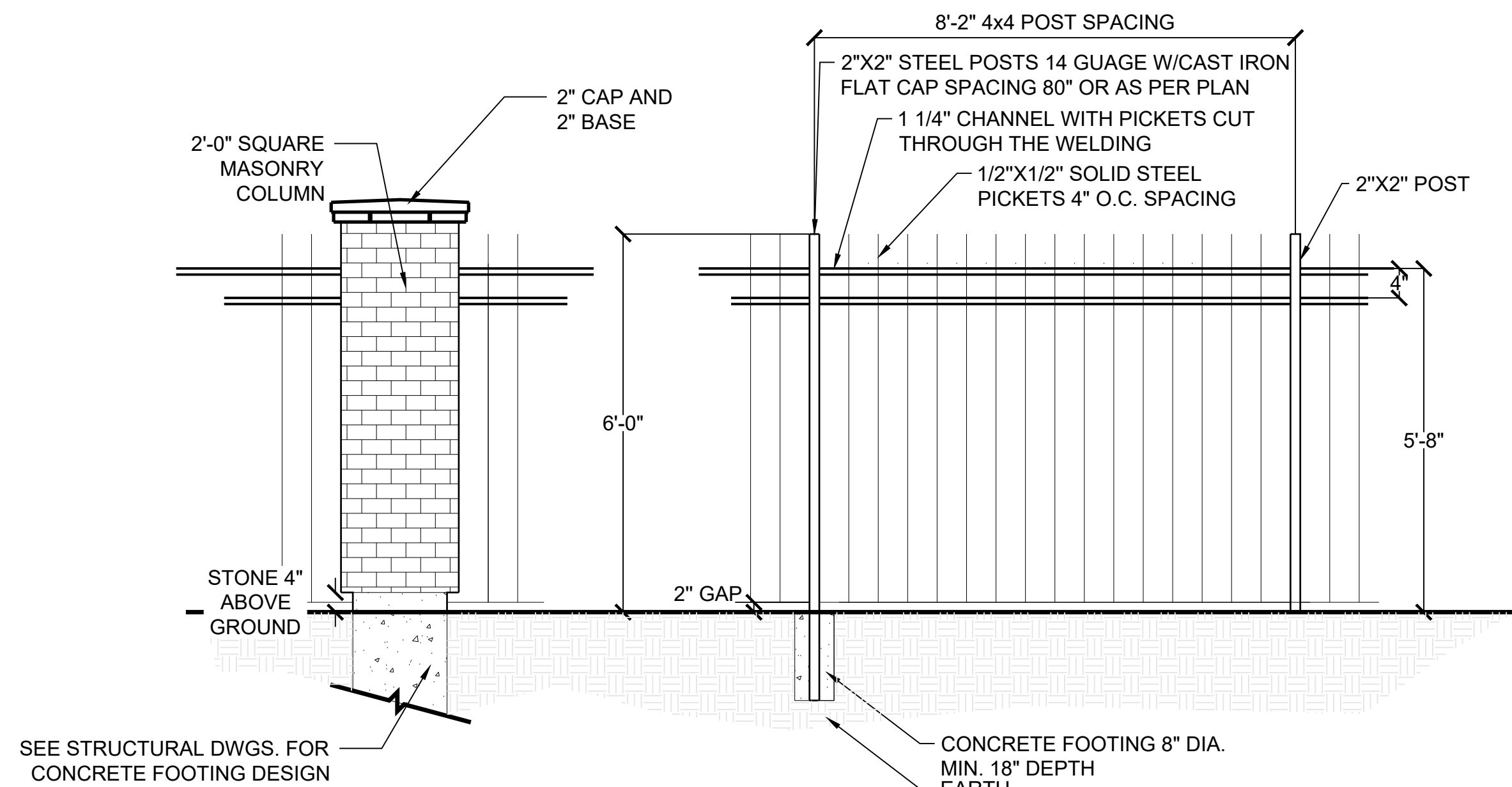
NOTES:

1. CEDAR POST TO FACE PUBLIC SIDE OF PROPERTY WHEN BORDERING OPEN SPACE OR STREET.
2. CONTACT FENCE CONTRACTOR OR STRUCTURAL ENGINEER FOR FOOTING DESIGN
3. ALL PERIMETER FENCING SHALL BE STAINED BEHR TRANSPARENT WATERPROOFING WOOD FINISH PART #401 CEDAR NATURALTONE OR APPROVED EQUAL.

### 1 4' HIGH THREE-RAIL FENCE

SCALE: NOT TO SCALE

1



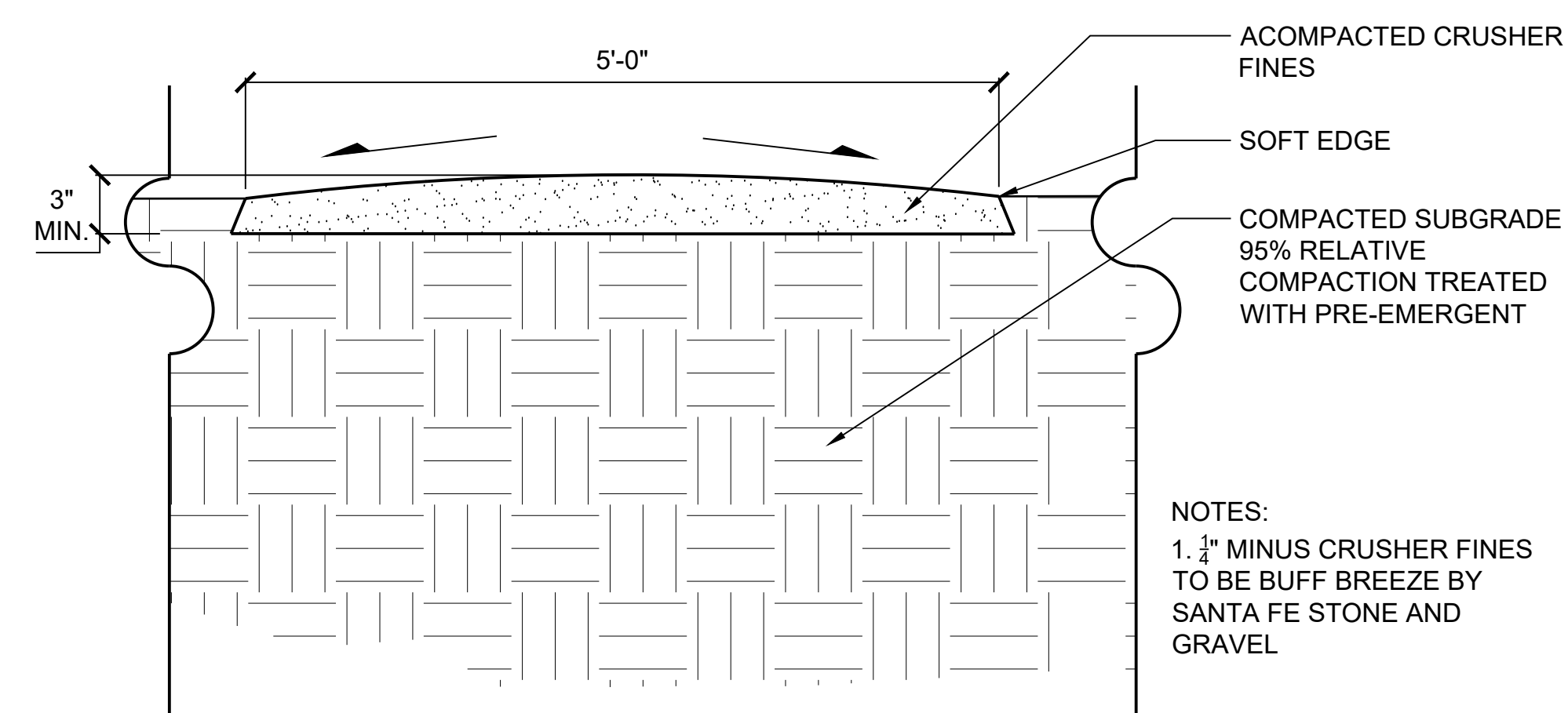
NOTES:

1. ALL METAL TO BE DEGREASED, PHOSPHATIZED WITH RUST RETARDANT UNDERCOAT AND DIP COATED WITH TWO COATS OF INDUSTRIAL GRADE FLAT BLACK ENAMEL.

### 2 6' METAL FENCE WITH MASONRY COLUMNS

SCALE: NOT TO SCALE

2



NOTES:

1. 3" MINUS CRUSHER FINES TO BE BUFF BREEZE BY SANTA FE STONE AND GRAVEL

### 3 CRUSHER FINES PATH

SCALE: 1" = 1'-0"

3

ENGINEERING:



**KT ENGINEERING**  
12500 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:

**aco**  
architecture design collaborative  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.aicolaborative.com  
303.351.0040



**Consilium Design**  
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LANDSCAPE ARCHITECTURE  
2755 South Locust St. Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	BY	DATE	REVISION DESCRIPTION
1.	KLW	05/20/19	REVISIONS PER CITY COMMENTS
2.	KLW	07/12/19	REVISIONS PER CITY COMMENTS
3.	KLW	08/22/19	REVISIONS PER CITY COMMENTS
4.			
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7.			
8.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**37**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

### SITE FURNISHINGS

MODEL 3120-06 - 6 FT. STEEL BAR PICNIC TABLE WITH BENCHES (465 lbs)  
MODEL 3120-08 - 8 FT. STEEL BAR PICNIC TABLE WITH BENCHES (515 lbs)

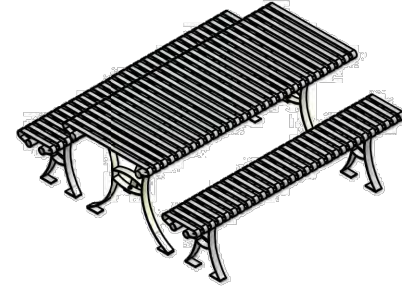
#### MATERIAL:

TABLE AND SEAT TOP: One piece assembly with 1-1/2" x 1/4" steel bar rolled to form seat and welded to 1-5/8" heavy duty steel supports.

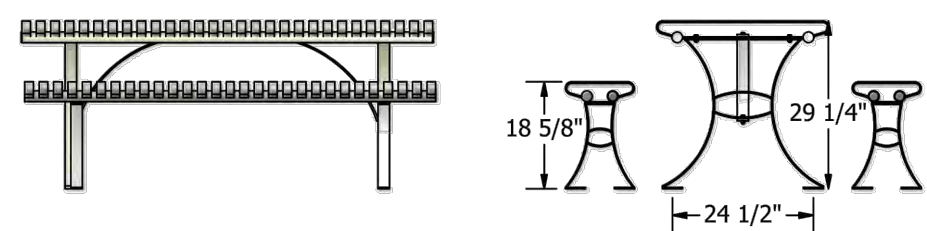
LEG FRAMES: One piece 3/8" x 2" steel bar rolled and welded to form this durable frame.

HARDWARE: All hardware is stainless steel.

FINISH: Super durable polyester powder coat.



FOR POWDER COAT COLORS SEE BACK-INSIDE COVER OF PATTERSON-WILLIAMS CATALOG

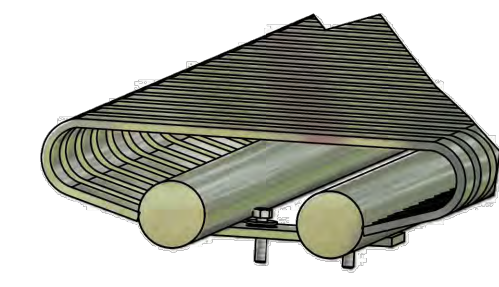


(Note: Table and benches must be anchored. Anchoring hardware not included.)

3120-06 & -08 BENCH	
QTY/MATERIAL LIST	
1	TABLE TOP ASSEMBLY
2	TABLE LEG ASSEMBLY
2	TABLE BRACE
1	SEAT TOP ASSEMBLY
2	SEAT LEG ASSEMBLY
16	5/16" X 1-1/4" HEX BOLT
16	5/16" NYLOCK NUT
32	5/16" FLAT WASHER

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 04-20-21  
DRAWN BY: AMC  
REV: A002221  
SHEET: 1 of 2  
STEEL BAR PICNIC TABLE WITH BENCHES  
MODEL 3120-06 & -08

### SITE FURNISHINGS



DETAIL A

Seat and Table tops are installed to the leg assemblies exactly the same. Use 5/16" x 1-1/4" hex bolt, (2) 5/16" flat washers and nylock nut at each location.

#### INSTALLATION INSTRUCTIONS:

1. Attach each leg frame to the seat and table assembly with (2) 5/16" x 1-1/4" hex bolts, (4) 5/16" flat washers and (2) 5/16" nylock nuts on each end. (Finger tighten only)

2. Set bench in final position, align and then tighten all hardware.

(Note: Bench must be anchored. Anchoring hardware not included.)

#### NOTE:

1. TABLE TO POWDER COATED BLACK

ALL HARDWARE IS STAINLESS STEEL

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 05-28-22  
DRAWN BY: AMC  
REV: A002221  
SHEET: 2 OF 2  
STEEL BAR PICNIC TABLE WITH BENCHES  
MODEL 3120-06 & -08

### RAINBOW BIKE RACK

MODEL #1608-01 (28 LBS)

Optional Powder Coating available in any of our 12 powder coat colors

#### SPECIFICATIONS:

1. A heavy-duty, steel single bike rack for areas with limited space, or multi-use where space is limited.

Sold individually.

MATERIAL: Formed with 2-3/8" O.D. galvanized steel.

FINISH: Galvanized or powder coated.

WARRANTY PERIOD: 10 years

SHIPPING WEIGHT: 28 lbs.

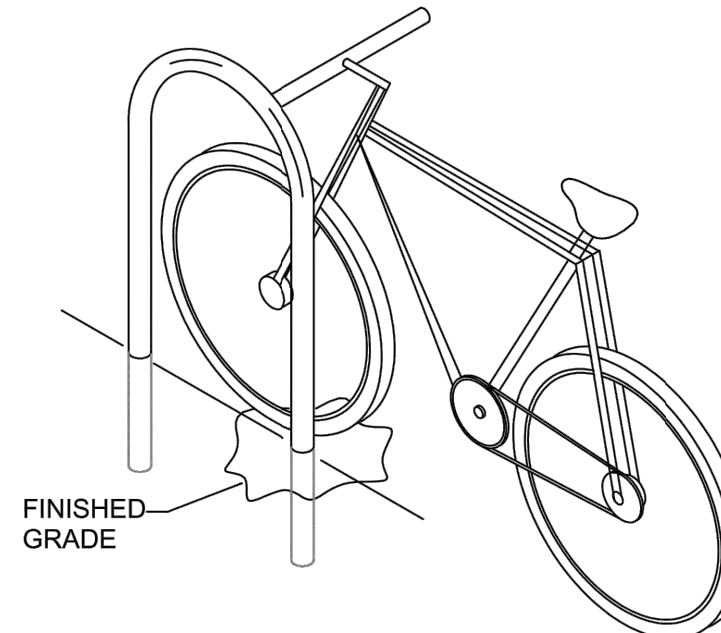
#### INSTALLATION INSTRUCTIONS:

Rainbow bike racks require a concrete anchor at each leg for permanent installation.

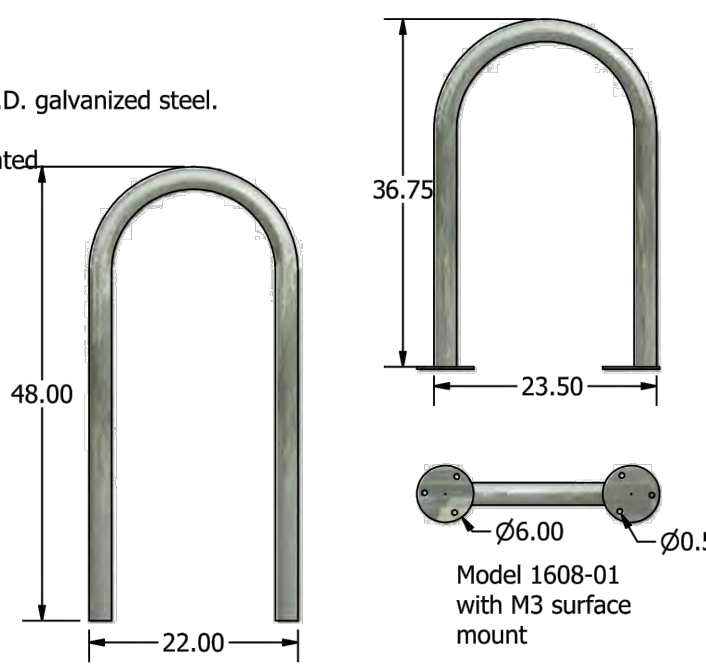
Dig footing hole (12" diameter x 18" deep). Set the bottom of the rack legs in center of the anchor holes and shim from below or fill such that the top of the bike rack is 36" above finish grade.

Crown the concrete slightly at the top, this allows water to drain away from the posts. Allow concrete to set for 3 days before removal of bracing.

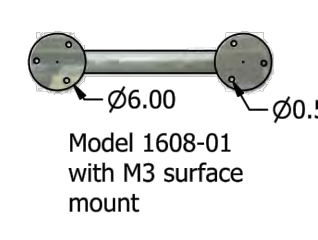
Note: Footing sizes are based on average soil conditions. Loose and/or sandy soil is not average and the footing sizes must be increased accordingly to meet local soil conditions.



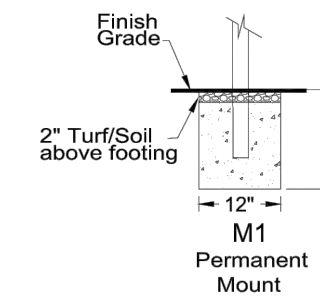
FINISHED GRADE



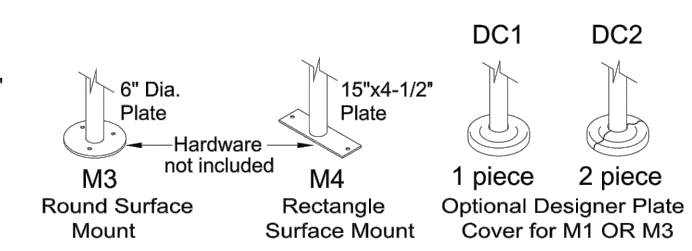
Model 1608-01 with M1 permanent mount



Model 1608-01 with M3 surface mount



#### MOUNTING OPTIONS



NOTE:  
1. BIKE RACK TO POWDER COATED BLACK

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 7-6-07  
REV: A070607  
DRAWN BY: AMC  
REV: A002221  
SHEET: 1 of 2  
SINGLE LOOP RAINBOW BIKE RACK  
MODEL NO. 1608-01

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 7-6-07  
REV: A071508  
DRAWN BY: AMC  
REV: A002221  
SHEET: 2 of 2  
SINGLE LOOP RAINBOW BIKE RACK  
MODEL NO. 1608-01



MANUFACTURER: DOGIPOT  
MODEL: ALL ALUMINUM DOGIPOT@ PET STATION (#1003A-L)  
CONTACT: DOGIPOT@ 2100 Principal Row, Suite 405 Orlando, FL 32837 800.364.7681

## 1 RECTANGLE PICNIC BENCH

SCALE: NOT TO SCALE

## 2 BIKE RACK

SCALE: NOT TO SCALE

## 3 DOG SERVICE STATION

SCALE: NOT TO SCALE

### vogue™ TRADITIONAL SERIES FINIAL CAP CUTSHEET

FRONT VIEW SIDE VIEW

MULTI-UNITS PAD SPECIFICATION

IMPORTANT CLEARANCE SPEC SEE MULTI UNIT PAD SPECIFICATION FOR BOLT PATTERN AND SPACING

NOTES:  
1. TRADITIONAL FINIAL CAP DESIGN REQUIRES ADDITIONAL SPACE BETWEEN CBUs. FOR MULTIPLE CBU INSTALLATIONS SEE IMPORTANT CLEARANCE SPEC ABOVE.  
2. TRADITIONAL CAP AND PEDESTAL COVER SOLD SEPARATELY.  
3. TRADITIONAL FINIAL CAP AVAILABLE IN ALL STANDARD CBU POWDER COAT FINISHES.  
4. FINIAL CAP INSTALLED USING (4) SET SCREWS. HARDWARE INCLUDED.  
5. FINIAL CAP DESIGNED TO FIT OVER 1570 SERIES CBU.

NOTE:  
1. INSTALL CONCRETE FOOTING AS REQUIRED BY MANUFACTURER AND LOCAL CODE.  
MANUFACTURER: US MAIL SUPPLY

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 04-20-21  
DRAWN BY: AMC  
REV: A001812  
SHEET: 1 of 2  
STEEL BAR BENCH WITH BACK  
MODEL 3107-06 & -08

### SITE FURNISHINGS

MODEL 3107-06 - 6 FT. STEEL BAR BENCH WITH BACK (220 LBS)  
MODEL 3107-08 - 8 FT. STEEL BAR BENCH WITH BACK (277 LBS)

MATERIAL:  
SEAT: One piece assembly with 1-1/2" x 1/4" steel bar rolled to form seat and welded to 1-5/8" heavy duty steel underneath and 1-7/8" heavy duty steel tube on top of bench.  
END FRAMES: One piece 3/8" x 2" steel bar rolled and welded to form this durable end frame.  
HARDWARE: All hardware is stainless steel.  
FINISH: Super durable polyester powder coat.

FOR POWDER COAT COLORS SEE BACK-INSIDE COVER OF PATTERSON-WILLIAMS CATALOG

(Note: Bench must be anchored. Anchoring hardware not included.)

NOTE:  
1. BENCH TO POWDER COATED BLACK  
2. BENCHES TO BE MOUNTED ON CONCRETE SLAB. MIN. 4" THICK REINF. CONCRETE SLAB TO EXTEND 4" BEYOND LEGS, EACH DIRECTION, AND SET ON 6" OF AGGREGATE BASE.

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 06-18-22  
DRAWN BY: AMC  
REV: A001812  
SHEET: 2 OF 2  
STEEL BAR BENCH WITH BACK  
MODEL 3107-06 & -08

### SITE FURNISHINGS

MODEL 3150 - 32 GAL. STEEL BAR LITTER RECEPTACLE WITH LID AND LINER (140 lbs.)

MATERIAL:  
RECEPTACLE: One piece assembly with 1-1/2" x 1/4" steel bar rolled to form sides and welded to 1-1/2" x 1/4" steel bar bottom with 1" x 2" steel channel. Top is welded to 3/4" rolled solid steel rod.  
LID: Flat steel.  
LINER: Plastic.  
FINISH: Super durable polyester powder coat.

Ships completely assembled. FOR POWDER COAT COLORS SEE BACK-INSIDE COVER OF PATTERSON-WILLIAMS CATALOG

The flat-top steel lid has an 8" diameter opening in the center and is attached with a cable to the receptacle.

(Note: Receptacle must be anchored. Anchoring hardware not included.)

3150 LITTER RECEPTACLE QTY/MATERIAL LIST  
1 LITTER RECEPTACLE  
1 LINER  
1 LID WITH CABLE

NOTE:  
1. BIKE RACK TO POWDER COATED BLACK

**Patterson-Williams** SITE FURNISHINGS  
SCALE: N.T.S. SPECIFICATION / INSTALLATION INSTRUCTIONS  
DATE: 04-20-21  
DRAWN BY: AMC  
REV: A001812  
SHEET: 1 of 1  
32 GAL. STEEL BAR LITTER RECEPTACLE  
MODEL 3150

## 4 TYP. MAIL KIOSK

SCALE: NOT TO SCALE

## 5 BENCH

SCALE: NOT TO SCALE

## 6 TYP. TRASH RECEPTACLE

SCALE: NOT TO SCALE

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12520 W. 58th Ave #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:  
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CONsilium Design  
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PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Arden Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	05-20-19	KLV	REVISIONS PER CITY COMMENTS
2	07-12-19	KLV	REVISIONS PER CITY COMMENTS
3	08-22-19	KLV	REVISIONS PER CITY COMMENTS
4			
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10			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**38**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

model no:  
SG213D, SG213P, SG214D, SG214P,  
SG229D, SG229P, SG234D, SG234P,  
SG244D, SG244P, SG249D, SG249P  
SIGNATURE SERIES  
30", 40" & 46" SQ. & 46" RND SURFACE MOUNT TABLE W/2, 3 & 4 SEATS,  
BASIC FRAME, EXPANDED METAL & PERFORATED



**WABASH VALLEY**

Wabash Valley Manufacturing, Inc.  
305 E. Main Street  
P.O. Box 5  
Silver Lake, IN 46982 U.S.A.  
FAX: 260-352-2160

**customer service:**  
ASSEMBLERS: If you find any parts missing or damaged, or if you're having difficulty assembling your furniture/equipment, call us at:  
\* Before calling, have your product model number available.

1-800-253-8619 (Inside U.S.A.)  
260-352-2102 (Outside U.S.A.)  
Monday thru Friday  
8:00 AM - 4:30 PM Eastern Time  
(EXCEPT HOLIDAYS)

Any correspondence concerning our product should be sent directly to our Customer Service Manager at:

Wabash Valley Manufacturing, Inc.  
305 E. Main Street  
P.O. Box 5  
Silver Lake, IN 46982 U.S.A.  
FAX: 260-352-2160

**maintenance:**  
Regular inspection and maintenance of all parts, and fasteners is necessary. Tighten all bolts and nuts. Inspect Tops, Seats, Legs, Braces and Fasteners periodically for wear or vandalism. Replace broken or worn parts immediately or take equipment out of service until repairs are made. Use genuine Wabash Valley replacement parts.  
To restore plastisol coating to its luster after prolonged use, wash/rinse/dry and use Armor-All or similar quality vinyl protectant.  
KEEP THIS ASSEMBLY/SPECIFICATION SHEET FOR FUTURE REFERENCE.

**specifications:** NOTE: We reserve the right to change specifications without notice.  
Heat fused poly-vinyl coating, finished on inner-metal structure, to an approximate 3/16" thickness.  
Framework assemblies are finished with powder coating; electrostatically applied and oven cured according to powder manufacturer's specifications. Fasteners are stainless steel to resist corrosion.

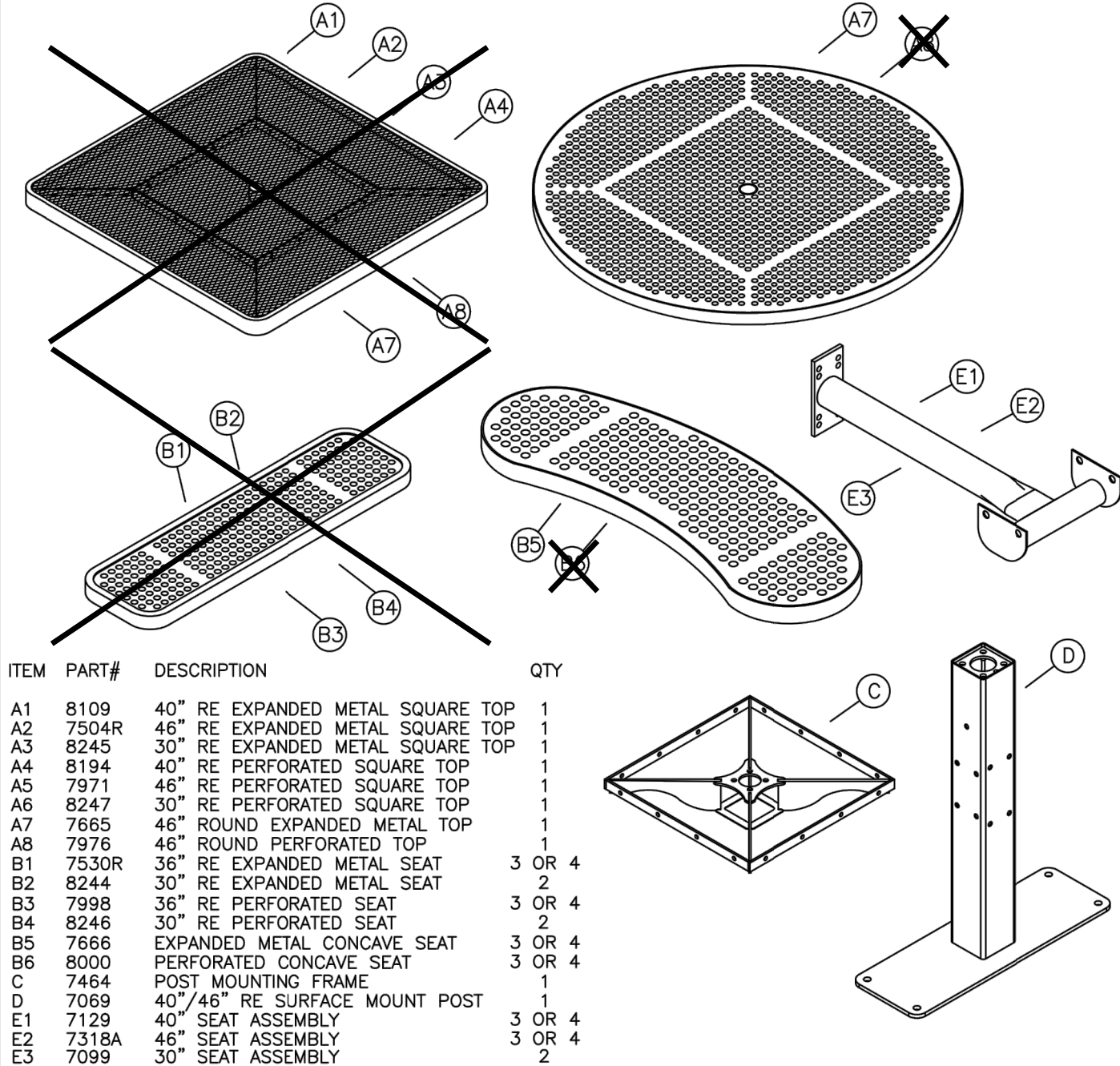
**TABLE FRAME:**  
Main support is constructed from 4" x 4" x 11 gage structural steel tubing. Surface mount leg base consists of 3/8" plate steel. Square mounting frame, for top, consists of 1/4" x 1 1/4" steel flat bar, 1/4" plate steel and 14 gage sheet steel. Seat assembly arm is constructed with 2 7/8" od x 9 gage structural steel tubing. Cross tubing is 2 3/8" od x 12 gage structural steel tubing. Seat's mounting ears are 10 gage sheet steel. Mounting bracket to the post is 3/8" x 3 1/2" x 8" plate steel.

**TOP & SEATS:**  
Top and seat use fabricated 3/4" #9 expanded steel mesh and 12 gage sheet metal for the perforated. Framing consists of die formed 10 gage mitered angles 3/4" x 1 3/4". Round tops are framed with 1/8" thick x 1 1/2" wide strip steel. Top's square mounting frame and the seat's mounting brackets are 1/4" x 1 1/2" steel flat bar. Top's support braces are 1/8" x 1 1/2" strip steel.

**GENERAL:**  
SG213D and SG213P ground space requirements are 30 1/4" x 60 5/8". SG214D and SG214P ground space requirements are 71" squared. SG229D and SG229P ground space requirements are 77 3/4" squared. SG234D and SG234P ground space requirements are 62" x 77 3/4". SG244D and SG244P ground space requirements are 81" squared. SG249D and SG249P ground space requirements are 63 5/8" x 81". It is 30" to the top of tables. Straight seats are 10 1/4" wide x 35 1/8" long and 19 1/8" to the top of seat. Concave seats are 10 1/4" wide x 34 1/2" long and 19 1/8" to the top of seat.

NOTE: When Umbrellas are used on Tables, the Umbrellas must be secured.  
Wabash Valley Umbrellas include an Umbrella Collar for securing.

### parts identification:



ITEM	PART#	DESCRIPTION	QTY
A1	8109	40" RE EXPANDED METAL SQUARE TOP	1
A2	7504R	46" RE EXPANDED METAL SQUARE TOP	1
A3	8245	30" RE EXPANDED METAL SQUARE TOP	1
A4	8194	40" RE PERFORATED SQUARE TOP	1
A5	7971	46" RE PERFORATED SQUARE TOP	1
A6	8247	30" RE PERFORATED SQUARE TOP	1
A7	7665	46" ROUND EXPANDED METAL TOP	1
A8	7976	46" ROUND PERFORATED TOP	1
B1	7530R	36" RE EXPANDED METAL SEAT	3 OR 4
B2	8244	30" RE EXPANDED METAL SEAT	2
B3	7998	36" RE PERFORATED SEAT	3 OR 4
B4	8246	30" RE PERFORATED SEAT	2
B5	7666	EXPANDED METAL CONCAVE SEAT	3 OR 4
B6	8000	PERFORATED CONCAVE SEAT	3 OR 4
C	7454	POST MOUNTING FRAME	1
D	7069	40"/46" RE SURFACE MOUNT POST	1
E1	7129	40" SEAT ASSEMBLY	3 OR 4
E2	7318A	46" SEAT ASSEMBLY	3 OR 4
E3	7099	30" SEAT ASSEMBLY	2

### hardware identification:

ITEMS INCLUDED IN HARDWARE PACKAGE:	#21004	#21012	#21041
F	17011	5/16-18 x 1 1/2" HEX BOLT - SS	0
G	17013	3/8-16 x 1 1/4" HEX BOLT - SS	0
H	17051	7/16-14 x 5 1/2" HEX BOLT - SS	8
I	17044	7/16-14 HEX NUT - SS	8
J	17028	3/8" FLAT WASHER - SS	0
K	17032	5/16-18 HEX FINISH NUT - SS	0
L	17043	7/16" FLAT WASHER - SS	16
M	17050	5/16" SPLIT LOCK WASHER - SS	0
N	17105	7/16" SPLIT LOCK WASHER - SS	8
P	17017	1/4-20 HEX NUT - SS	1
R	17103	5/16" FLAT WASHER - SS	2
R	17154	1/4-20 X 4 1/2" HEX BOLT - SS	1

### ASSEMBLY TOOLS REQUIRED

- 2 - 1/2" WRENCHES
- 1 - 9/16" WRENCH
- 1 - TAPE MEASURE
- 1 - 3' OR 6' LEVEL
- 1 - 5/8" WRENCH
- 1 - 11/16" WRENCH

### assembly procedures:

**IMPORTANT:** Assemblers should be reasonably skilled in the assembly of commercial grade/heavy duty fabricated steel equipment.  
To ensure proper assembly, it is suggested that you take adequate time to locate and identify each part. To prevent scratching of the finished pieces, we recommend this unit to be assembled on a clean, flat, solid, surface with a drop cloth, allowing plenty of working room. Also please read the instructions and study the sketches very carefully. A little extra time spent before assembly will be well worth it in performing a complete, proper assembly. Please note that all parts have been pre-cut and pre-drilled.  
During the assembly process leave all bolts and nuts "finger tight", until the entire unit is completely assembled. This allows room for movement to level or adjust all seats, tops, benches, framework and braces if necessary. After final adjustment and leveling, permanently tighten all nuts, bolts and fasteners.

**STEP 1:** Prepare and place the foundations securement hardware in its chosen location. A detailed description of where the hole locations should be placed is shown on page 4.

**STEP 2:** When the foundation's securement hardware has been installed, place (D) post in its new location and secure to the foundation.

**STEP 3:** Slide (C) onto end of (D), matching the square opening with the square post until it rests on the top of the post. Secure (C) to (D) engaging four (G) and (J) into pre-welded t-nuts inside post, see FIG. 1. Draw the bolts to a snug fit with wrenches.

**NOTE:** Depending on the unit you have purchased, the following steps may differ.

**STEP 4:** Attach each (E-) seat assembly arm to the surface mount post as shown in FIG. 2. Use four per each seat assembly arm, (H) and (I) using two (L) and one (N) per (H).

**STEP 5:** Level the arms, then tighten fasteners with wrenches.

**STEP 6:** Attach (2 or 3 or 4) seats (B-) to the end of each seat assembly arm, aligning the seat's brackets to the outside of the seat assembly arm's brackets as shown in FIG. 4. Use four, per each seat, (F) and (K) using two (J) and one (M) per (F).

**STEP 7:** Level seats and top if necessary and tighten fasteners with wrenches.

**installation:** WARNING: The proper installation for Wabash Valley products may depend upon many factors unique to the site, location, or use of a particular product. Consult with your contractor or other professional to determine your specific installation requirements.

### assembly procedures, cont'd:

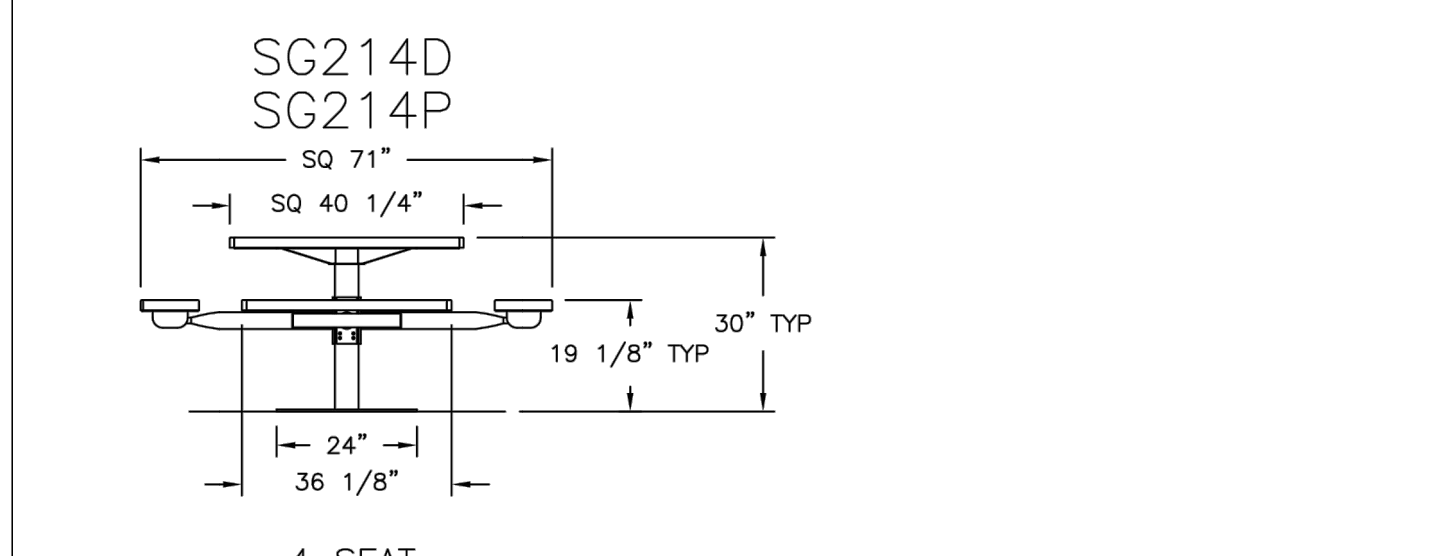
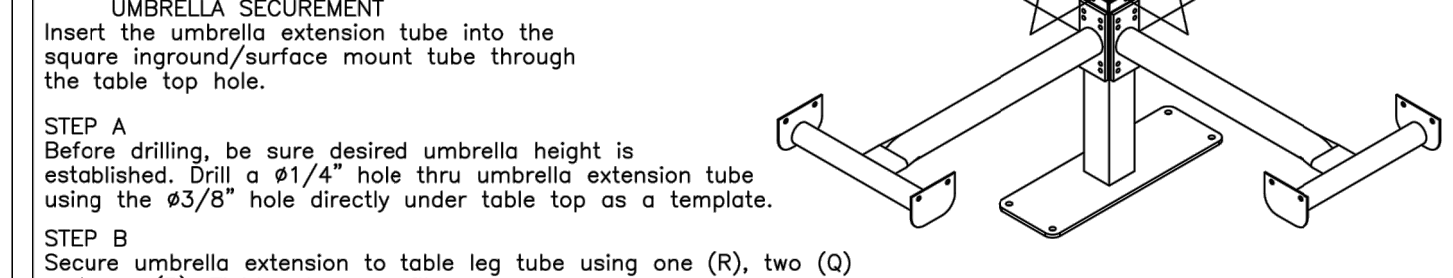
**STEP 8:** Attach (A-) top to the outside of the square mounting frame (C). See FIG. 3. Use eight (F) and (K) using two (J) and one (M) per (F). Draw the fasteners to a snug fit with wrenches.

**NOTE:** Secure the umbrella AFTER the seat arms are assembled.

**UMBRELLA SECUREMENT:** Insert the umbrella extension tube into the square inground/surface mount tube through the table top hole.

**STEP A:** Before drilling, be sure desired umbrella height is established. Drill a #1/4" hole thru umbrella extension tube using the #3/8" hole directly under table top as a template.

**STEP B:** Secure umbrella extension to table leg tube using one (R), two (Q) and one (P). Tighten to snug fit.



**NOTE:**  
1. TABLE TO POWDER COATED BLACK

## 1 CIRCULAR PICNIC TABLE

SCALE: NOT TO SCALE

**Deluxe Public Work Stand**

- Tools securely attach by retractable braided stainless steel cable
- Large surface area for custom branding/signage; optional Bike Fixation branding as shown is available by request
- Designed to directly interface with all three of Bike Fixation's manual pumps and Wheel Chock attachments (sold separately)
- Long hose provides wide range without touching the ground
- Impact and UV resistant front won't show wear from pedal strikes
- ADA-compliant design

**Specifications**

**Construction:**  
Material: Formed and welded steel, cast aluminum  
Tool tethering: Retractable stainless steel aircraft cable

**Finish Options:**  
UV resistant powder coat, custom colors available  
Galvanized  
Stainless steel

**Installation Options:**  
Surface mount  
Embedment

**Tools Included:**  
Phillips & standard screwdrivers  
Steel cone tire levers (2)  
Headset/pedal wrench  
8/10 & 9/11mm cone wrenches  
Torx T-25  
Hex key set

**Dimensions:**  
Imperial: 8.5" W x 56" H x 21" D  
Metric: 21.6 x 140.8 x 53 cm

**Security Rating:**  
Includes bike to online theft  
Includes bike to online theft

Visit [www.theparkcatalog.com](http://www.theparkcatalog.com) or call 866-280-9894 (USA) for more information

## 2 MODEL # 567-1002

CONTACT: MIRIAM HOOTSTEIN @RECREATION PLUS  
**BIKE STATION**  
SCALE: NOT TO SCALE

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12520 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:  
**adco**  
**architecture design collaborative**  
10111 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040

**Consilium Design**  
LAND PLANNING AND  
LANDSCAPE ARCHITECTURE  
2755 South Locust St. Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

**REVISIONS:**

NO.	DATE	BY	REVISION DESCRIPTION
1.	05/20/19	KLW	REVISIONS PER CITY COMMENTS
2.	07/12/19	KLW	REVISIONS PER CITY COMMENTS
3.	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			
7.			
8.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

### SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12500 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720-638-5190  
www.kting.net

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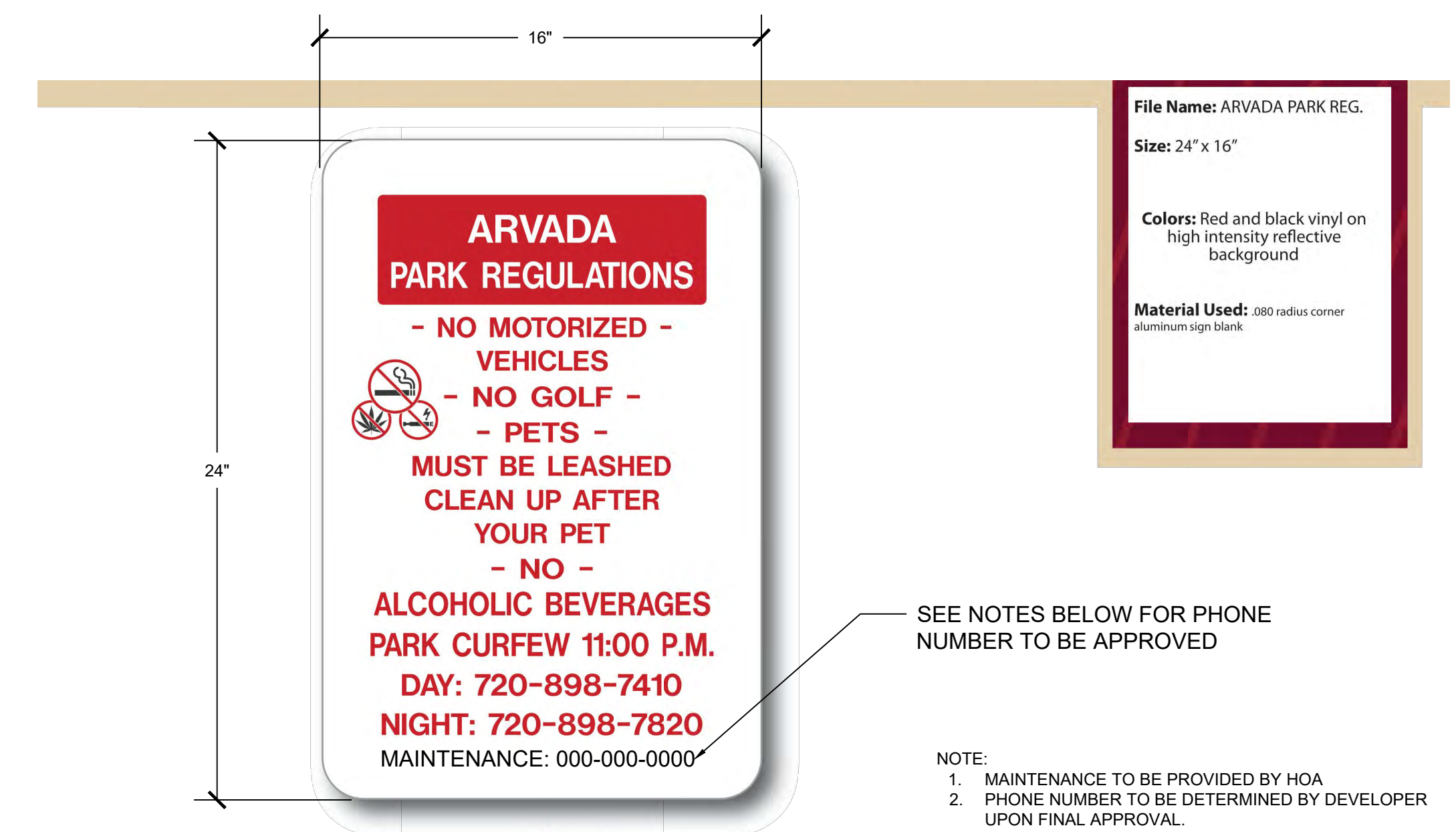
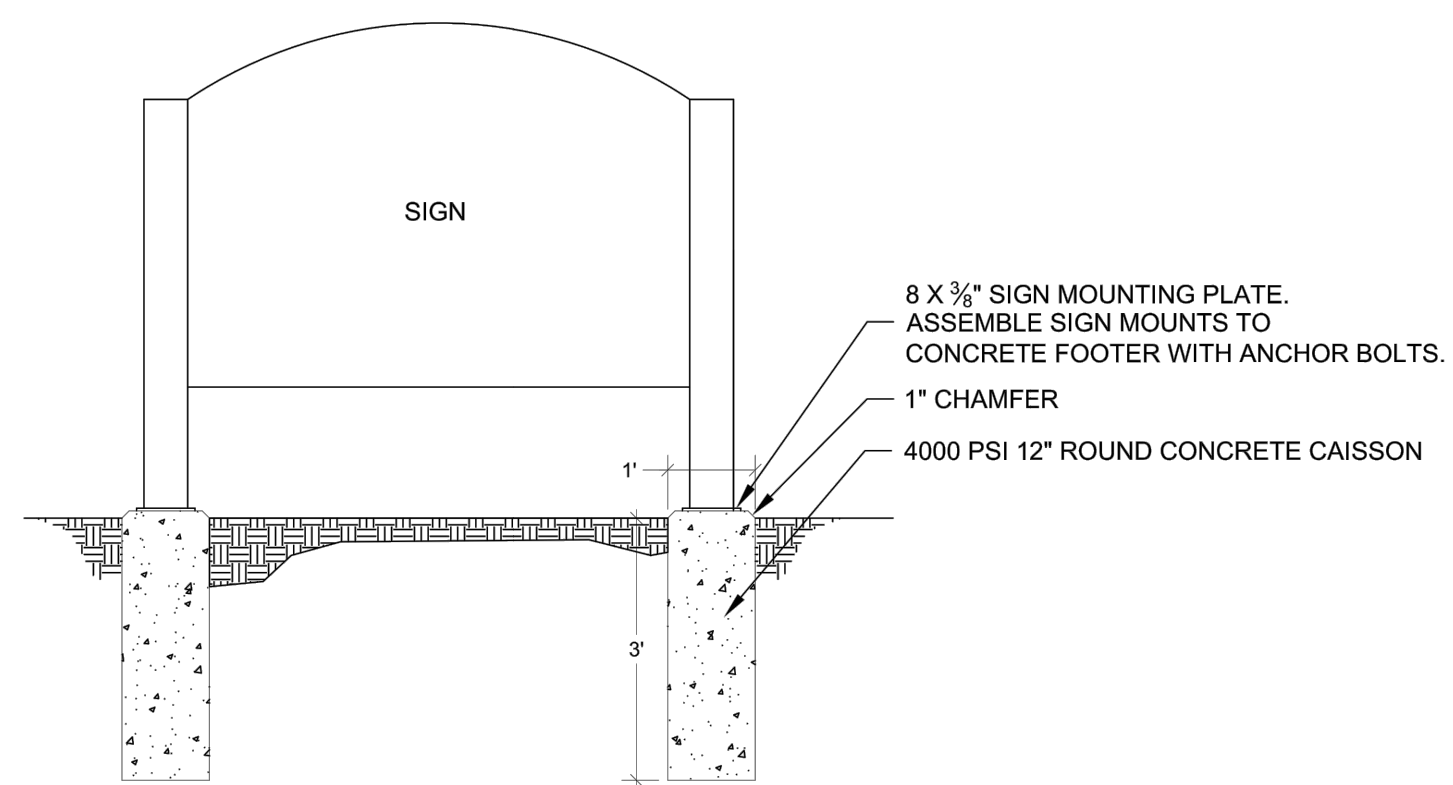
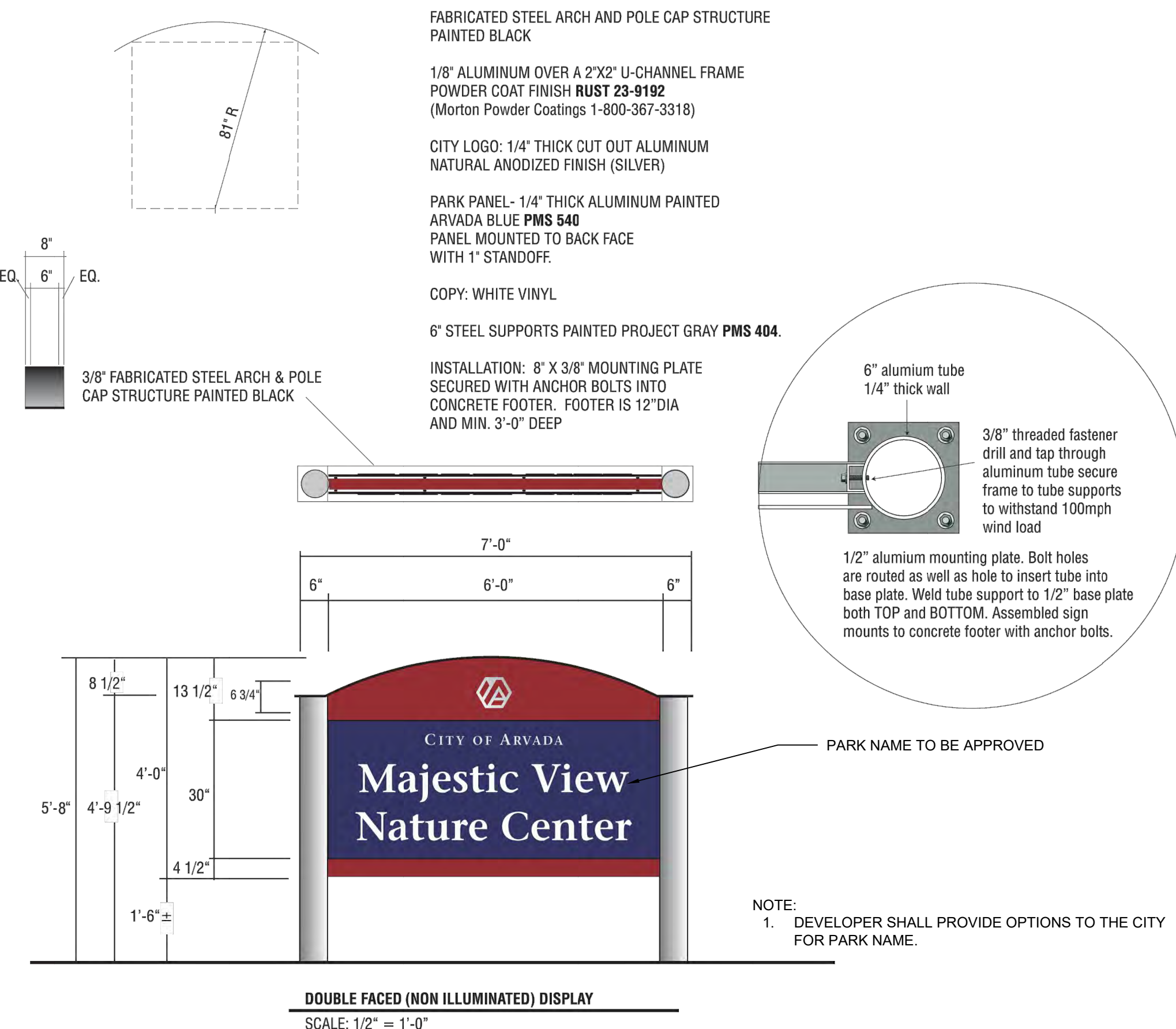
**Consilium Design**  
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PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Atton Way  
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P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLW
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3.	REVISIONS PER CITY COMMENTS	08/22/19	KLW
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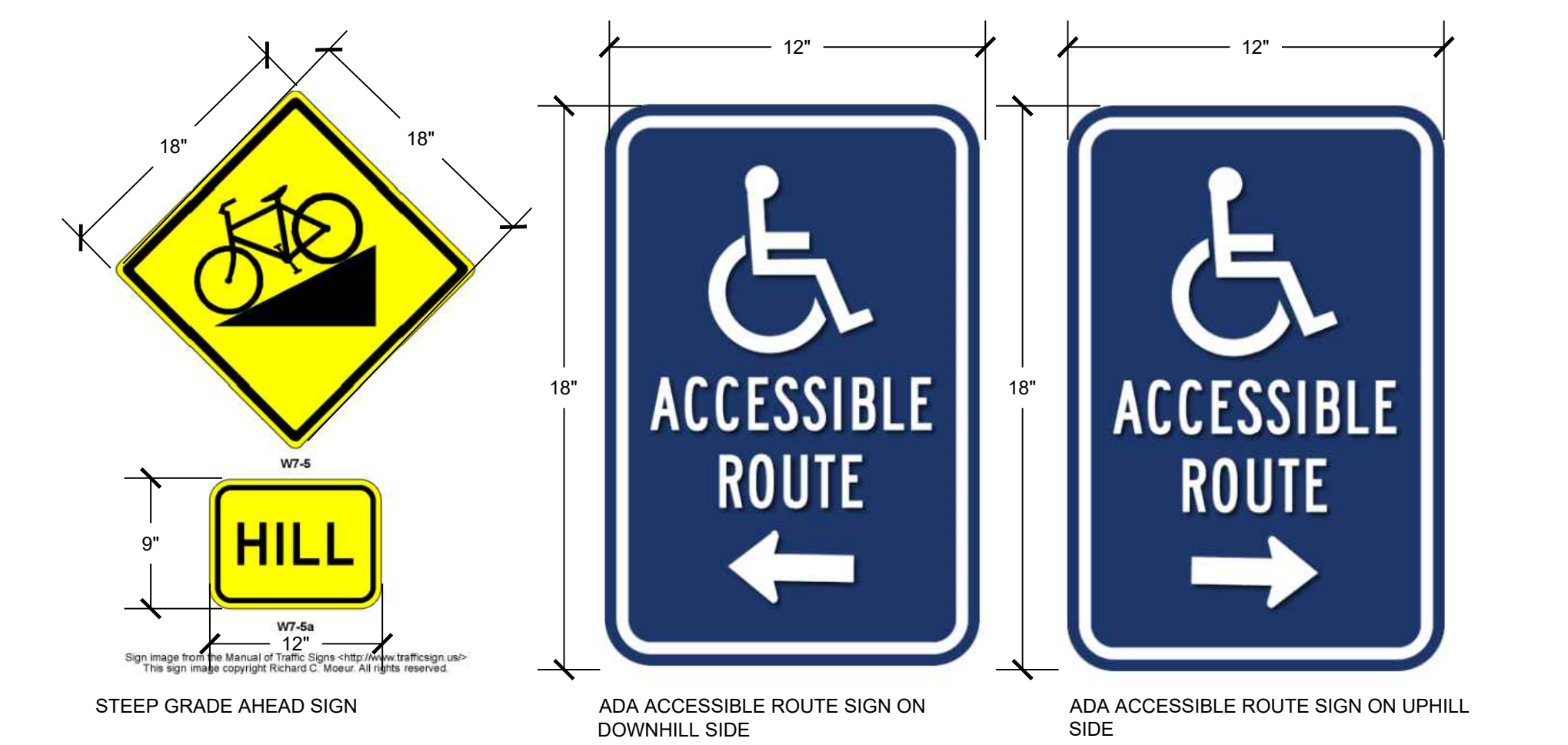
SHEET INFO:



**1 CITY OF ARVADA PARK IDENTIFICATION SIGN**  
SCALE: 1/2" = 1'-0"

**2 PARK SIGN MOUNTING DETAIL**  
SCALE: NOT TO SCALE

**3 PARK RULES AND REGULATION SIGNS**  
SCALE: NOT TO SCALE



**4 STEEP TRAIL AND ADA ROUTE SIGN**  
SCALE: NOT TO SCALE

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**40**  
OF 51

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# HASKINS STATION

**FINAL DEVELOPMENT PLAN**  
 A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION  
 RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED  
 AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3  
 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF  
 JEFFERSON, STATE OF COLORADO  
 240 RESIDENTIAL LOTS AND 24 TRACTS

**model no:**  
 SG105D, SG105P, SG106D, SG106P,  
 SG110D, SG110P, SG111D, SG111P,  
 SG115D, SG115P, SG120D, SG120P

**SIGNATURE SERIES**  
 PORTABLE 6', 8' & 10' LIGHT/HEAVY DUTY & 8' HANDICAP,  
 PICNIC TABLES - EXPANDED METAL & PERFORATED



**customer service:**  
 ASSEMBLERS: If you find any parts missing or damaged, or if you're having difficulty assembling your furniture/equipment, call us at:

• Before calling, have your product model number available.  
**1-800-253-8619 (Inside U.S.A.)**  
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Any correspondence concerning our product should be sent directly to our Customer Service Manager at:

Wabash Valley Manufacturing, Inc.  
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 P.O. Box 5  
 Silver Lake, IN 46982 U.S.A.  
 FAX: 260-352-2160

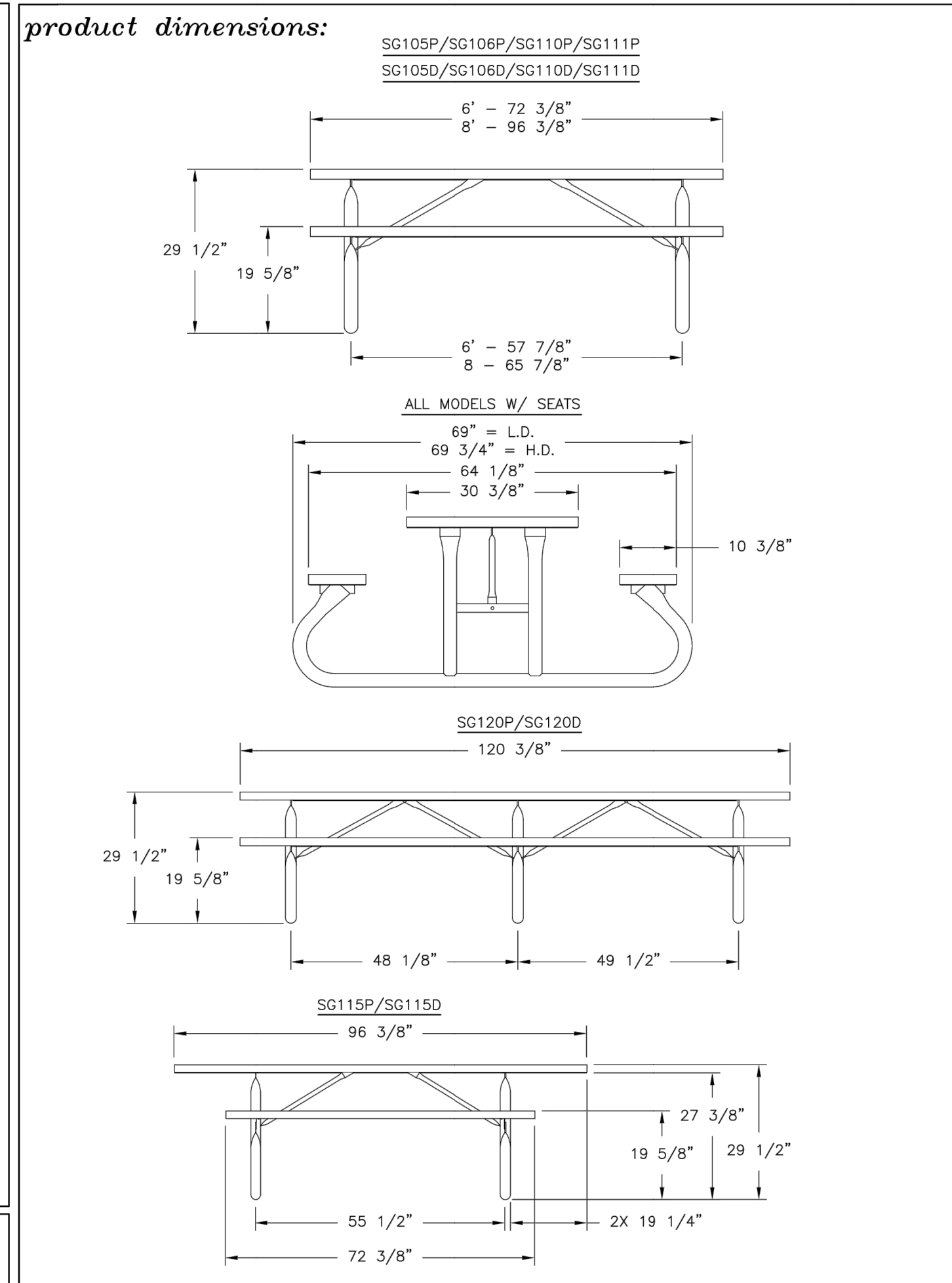
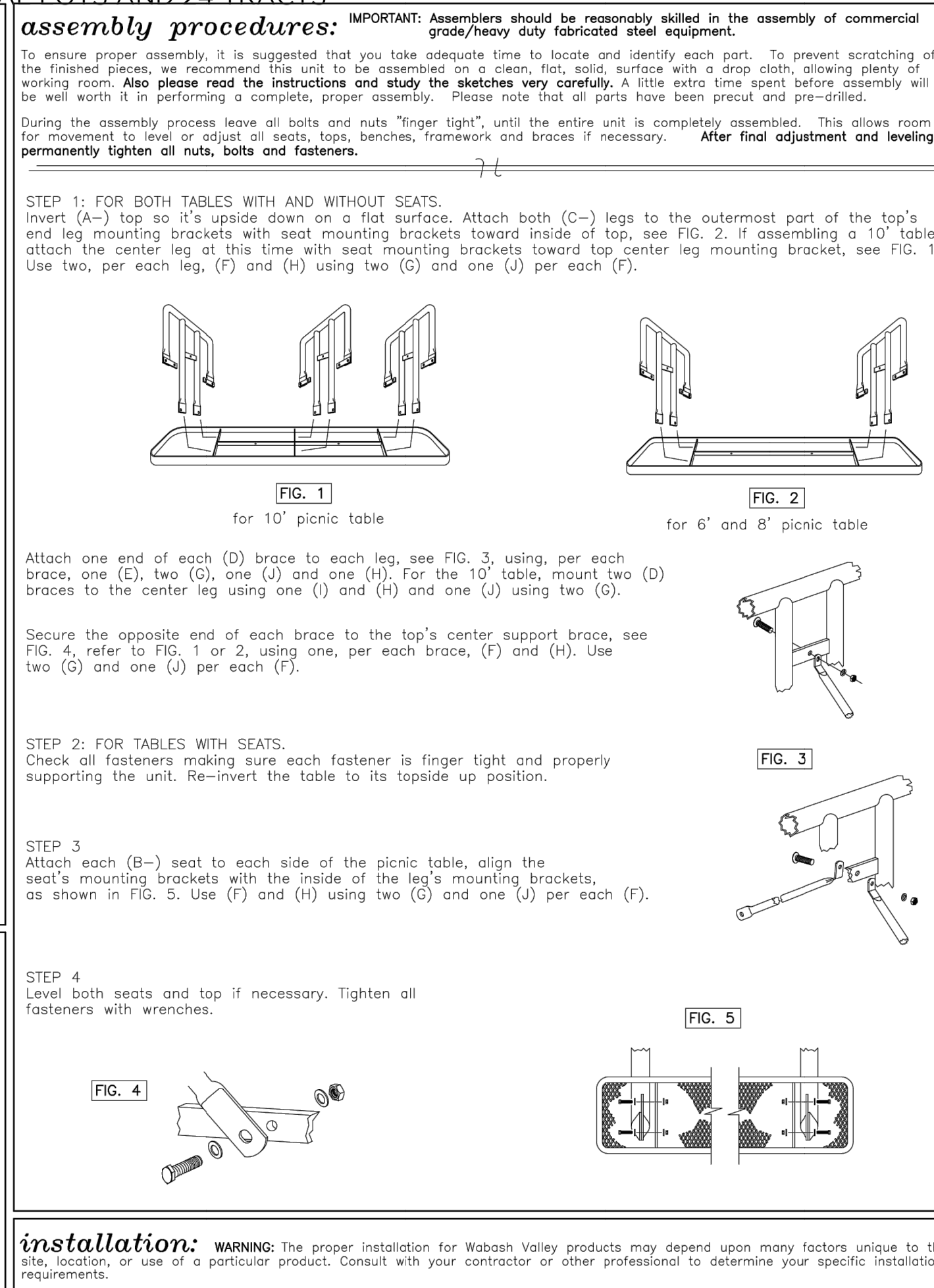
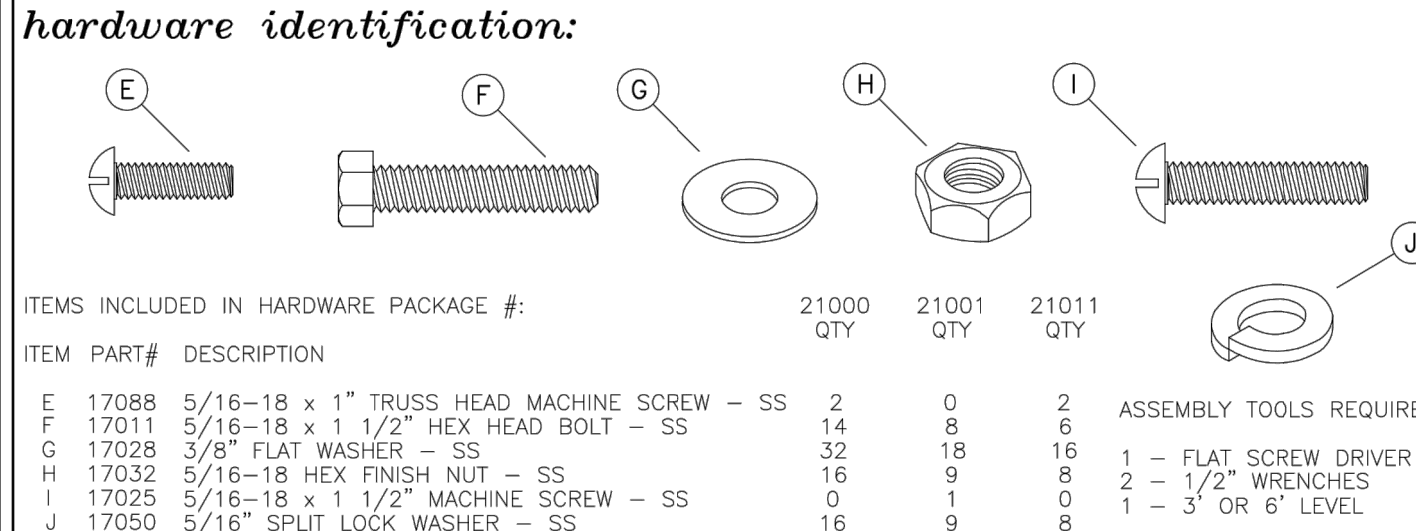
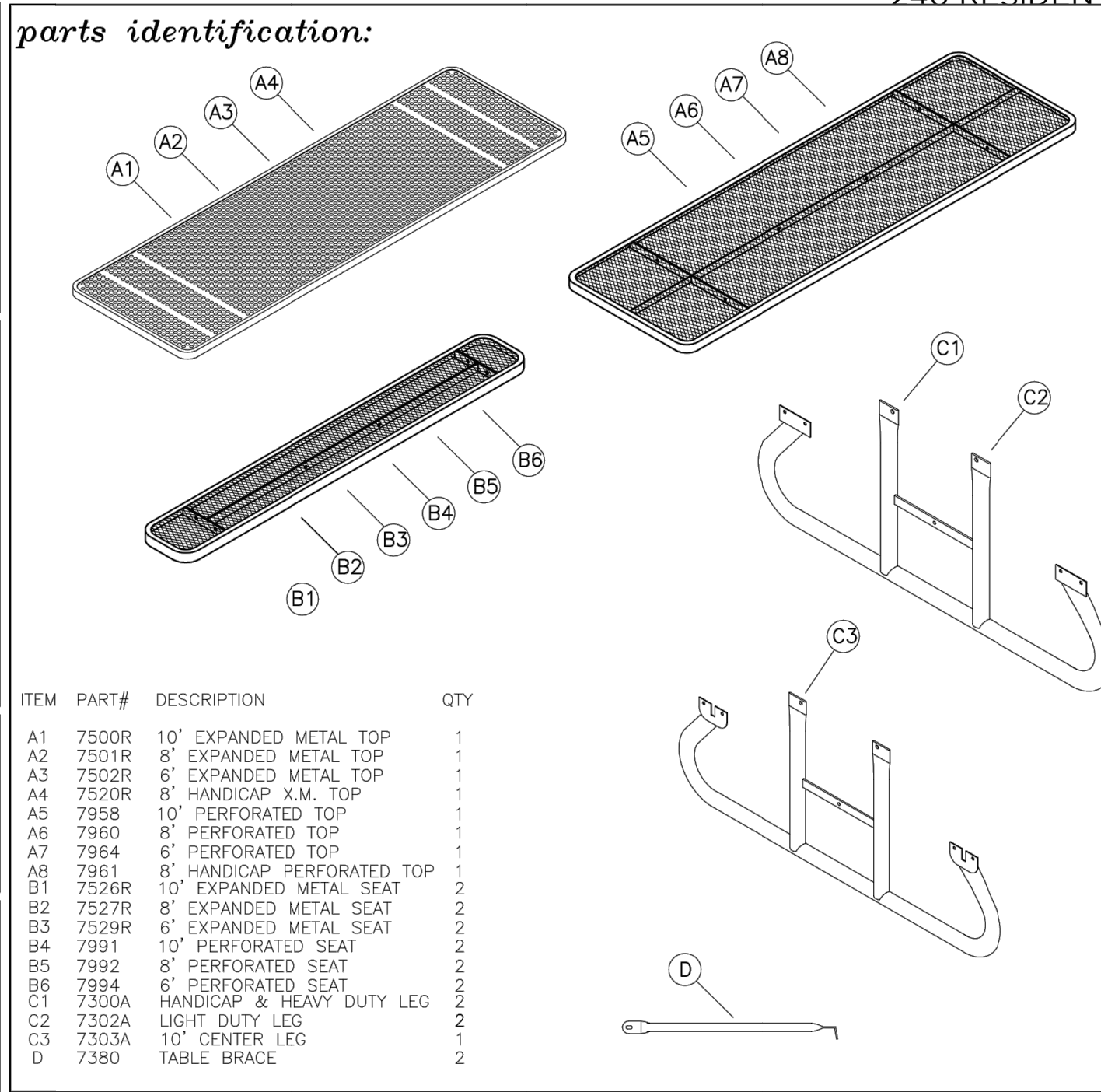
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 To restore plastic coating to its luster after prolonged use, wash/rinse/dry and use Armor-All® or similar quality vinyl protectant.  
**KEEP THIS ASSEMBLY/SPECIFICATION SHEET FOR FUTURE REFERENCE.**

**specifications:**  
 NOTE: We reserve the right to change specifications without notice.  
 Heat fused poly-vinyl coating, finished on inner-metal structure, to an approximate 3/16" thickness.  
 Framework assemblies are finished with powder coating; electrostatically applied and oven cured according to powder manufacturer's specifications. Fasteners are stainless steel to resist corrosion.

**TABLE FRAMES:**  
 Main supports are constructed of 2 3/8" od x 13 gage and 1 5/8" od x 14 gage structural steel tubing. Cross braces are 1" od x 15 gage structural steel tubing. Mounting brackets on legs are 10 gage x 2 7/8" x 6" sheet steel.

**TOP & SEATS:**  
 Top and seats use fabricated 3/4"-#9 expanded steel mesh and 12 gage sheet metal for perforated. Framing on the 6', 8' tops and 8' and 6' seats are 10 gage mitered angles 3/4" x 1 3/4". The top's center support brace is 1/8" x 1 1/2" strip steel. Top and seat mounting brackets are 1/4" x 1 1/2" steel flat bar.

**GENERAL:**  
 10' picnic table ground space requirements are 69 3/4" x 120 3/8". 8' handicap picnic table ground space requirements: 69 3/4" x 96 3/8". 8' picnic table ground space requirements are 69 3/4" x 96 3/8". 6' picnic table ground space requirements are 69 3/4" x 72 3/8". Table tops are 30 3/8" wide and 29 1/2" to the top of the tables. Seats are 10 3/8" wide and 19 5/8" to the top of the seat. Corner radius is 3" to the outside.



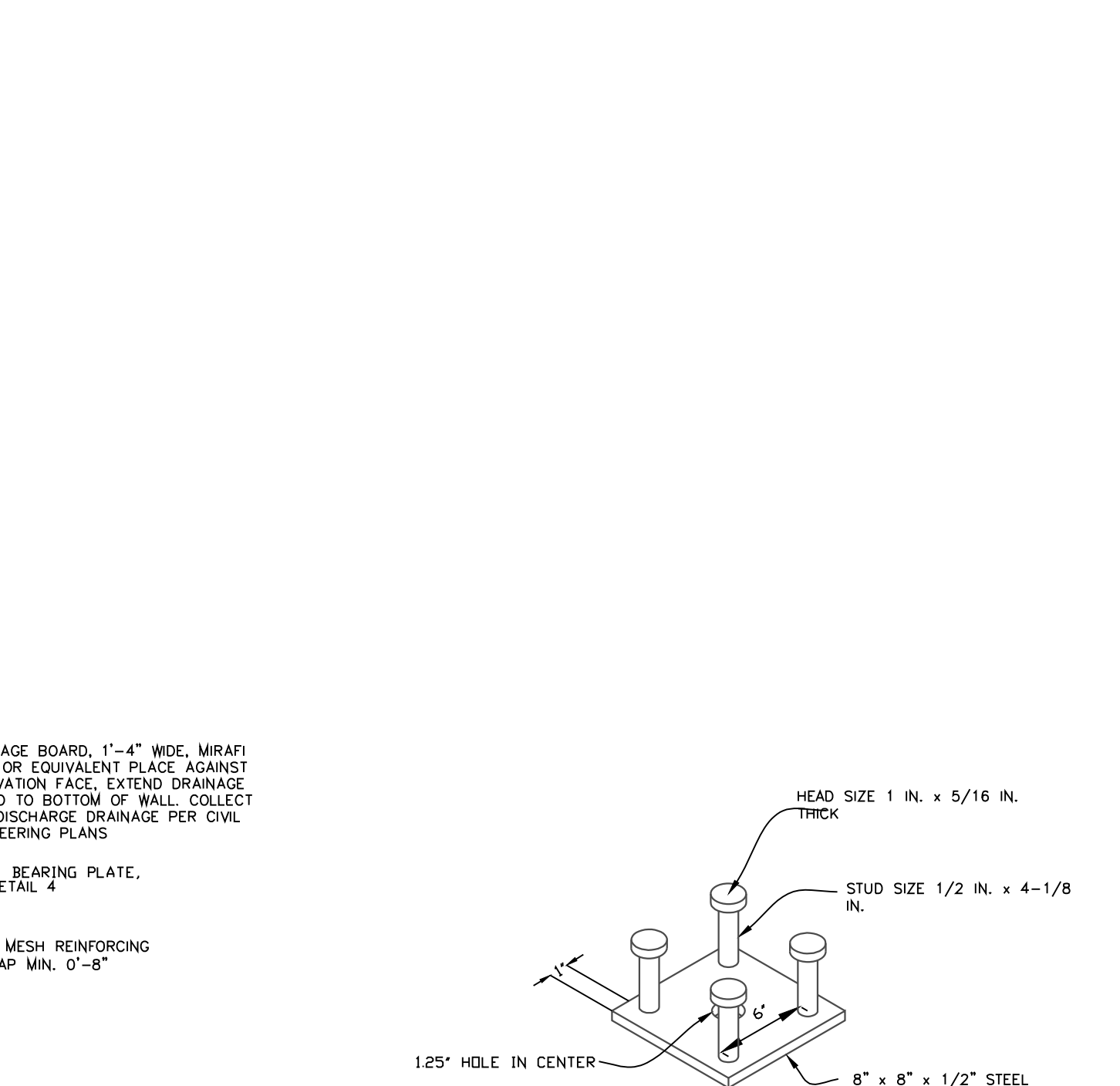
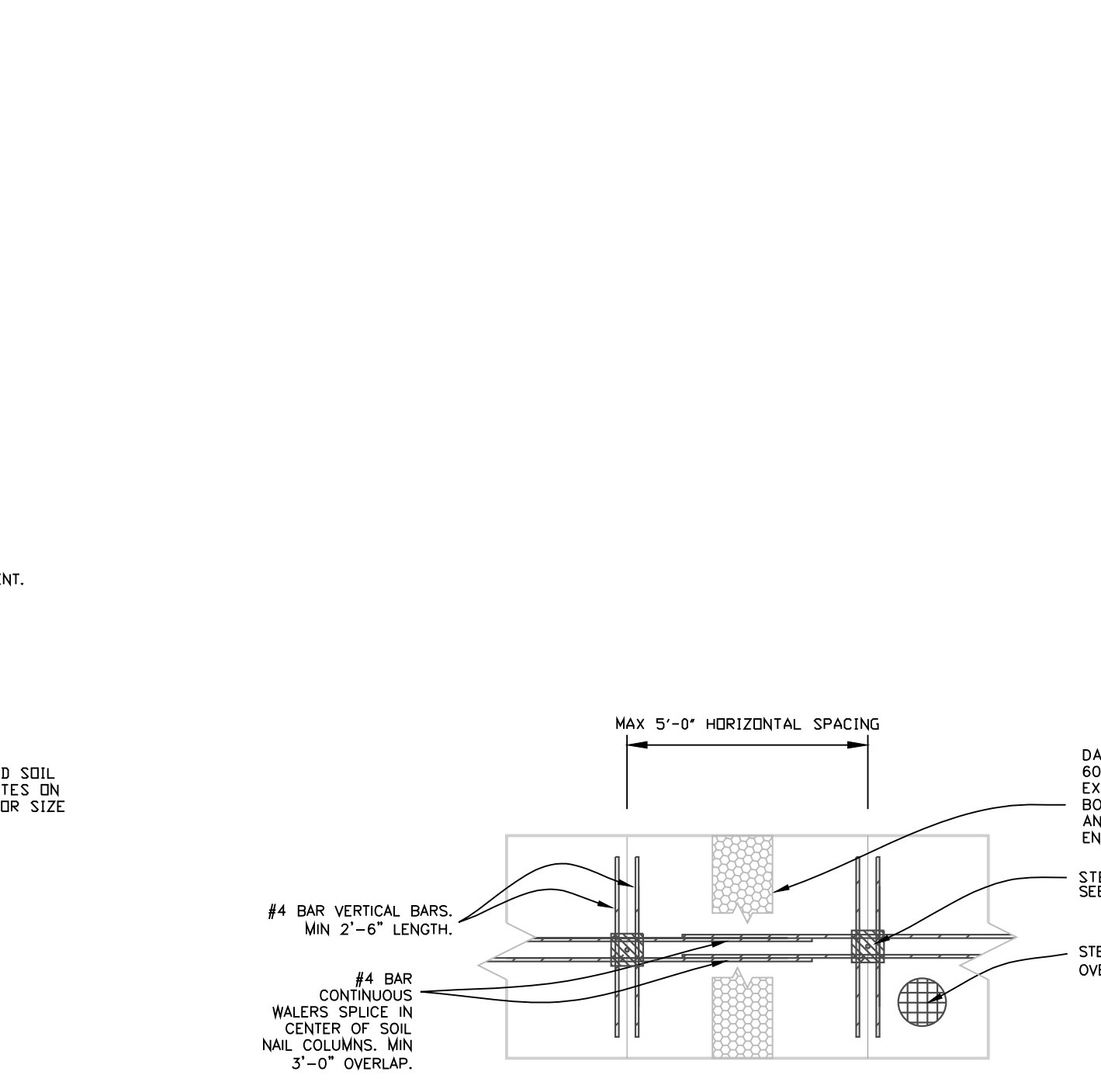
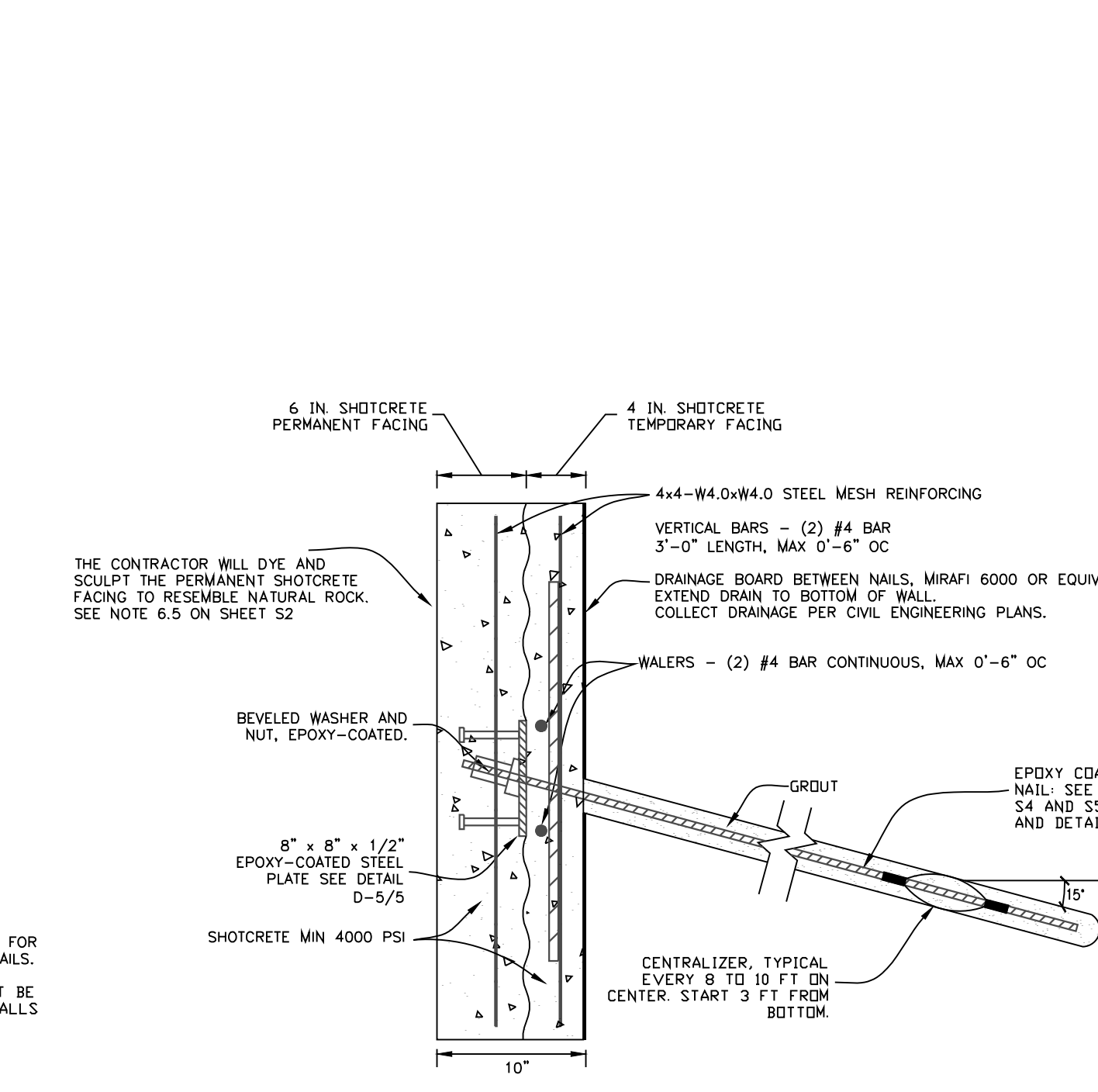
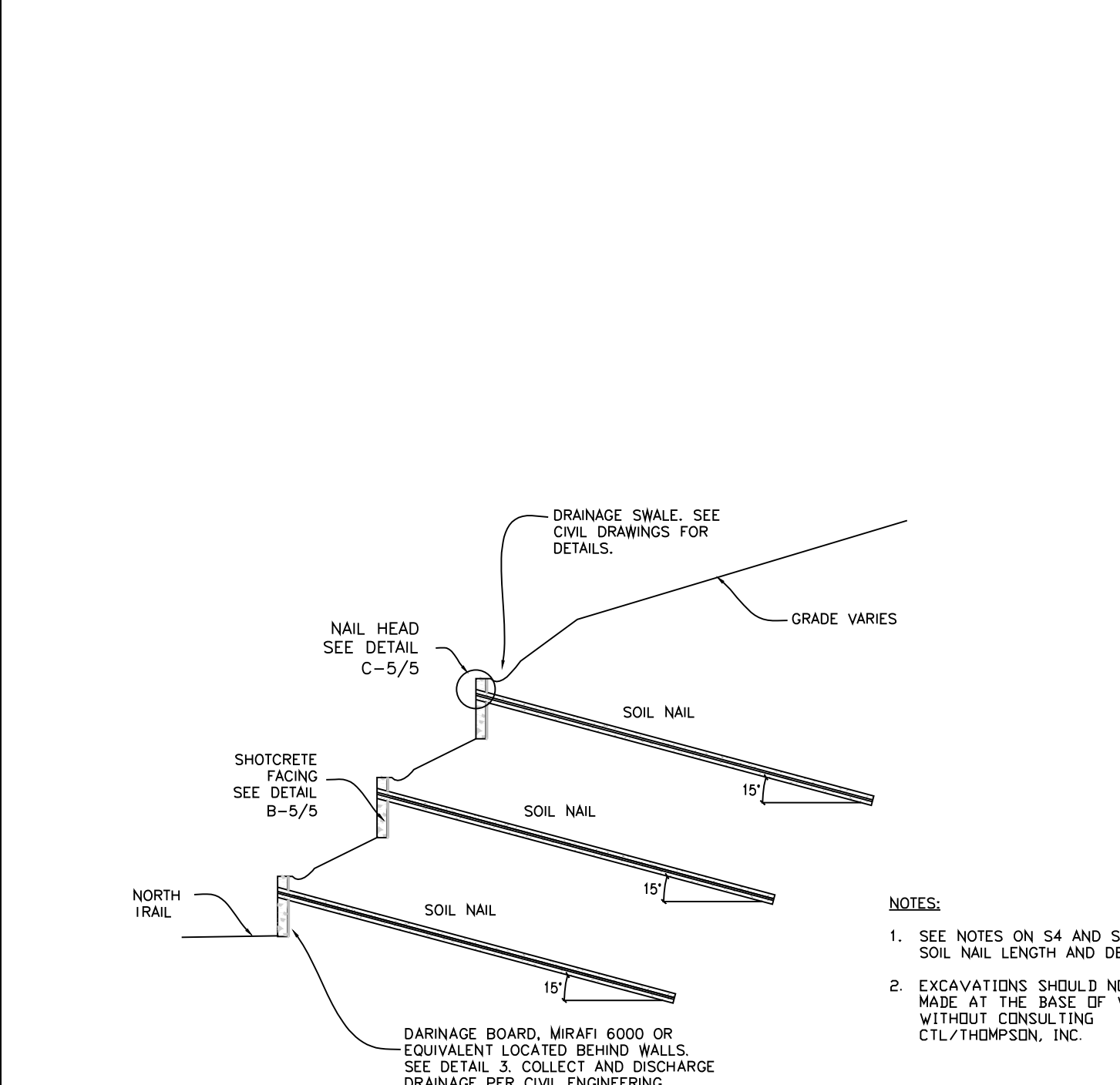
**1 PICNIC TABLE FOR SHADE PAVILION 1**  
 SCALE: NOT TO SCALE

**2 SOIL NAIL WALL SECTION A-A'**  
 SCALE: 1" = 10'-0"      NOTE: DETAIL PER CTL DRAWINGS

**3 WALL NAIL HEAD AND NAIL DETAIL**  
 SCALE: NOT TO SCALE      NOTE: DETAIL PER CTL DRAWINGS

**4 WALL FACING DETAIL**  
 SCALE: NOT TO SCALE      NOTE: DETAIL PER CTL DRAWINGS

**5 WALL BEARING PLATE DETAIL**  
 SCALE: NOT TO SCALE      NOTE: DETAIL PER CTL DRAWINGS

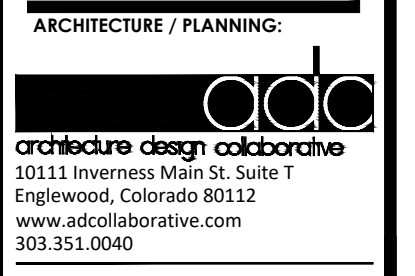
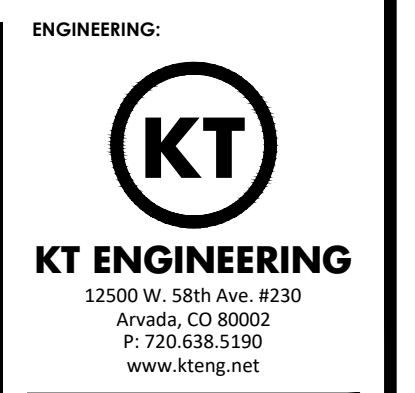


**2 SOIL NAIL WALL SECTION A-A'**  
 SCALE: 1" = 10'-0"      NOTE: DETAIL PER CTL DRAWINGS

**3 WALL NAIL HEAD AND NAIL DETAIL**  
 SCALE: NOT TO SCALE      NOTE: DETAIL PER CTL DRAWINGS

**4 WALL FACING DETAIL**  
 SCALE: NOT TO SCALE      NOTE: DETAIL PER CTL DRAWINGS

**5 WALL BEARING PLATE DETAIL**  
 SCALE: NOT TO SCALE      NOTE: DETAIL PER CTL DRAWINGS



**REVISIONS:**

NO.	DATE	BY	REVISION DESCRIPTION
1.	05-20-19	KLW	REVISIONS PER CITY COMMENTS
2.	07-12-19	KLW	REVISIONS PER CITY COMMENTS
3.	08-22-19	KLW	REVISIONS PER CITY COMMENTS
4.			
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6.			
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**SHEET INFO:**

**HASKINS STATION**  
 FINAL DEVELOPMENT PLAN  
 SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
 DESIGNED BY:  
**XXX**

SCALE:  
**NA**

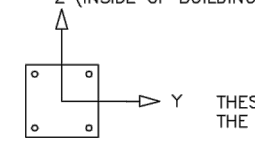
SUBMITTED ON:  
**08.22.2019**

**41**  
 OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

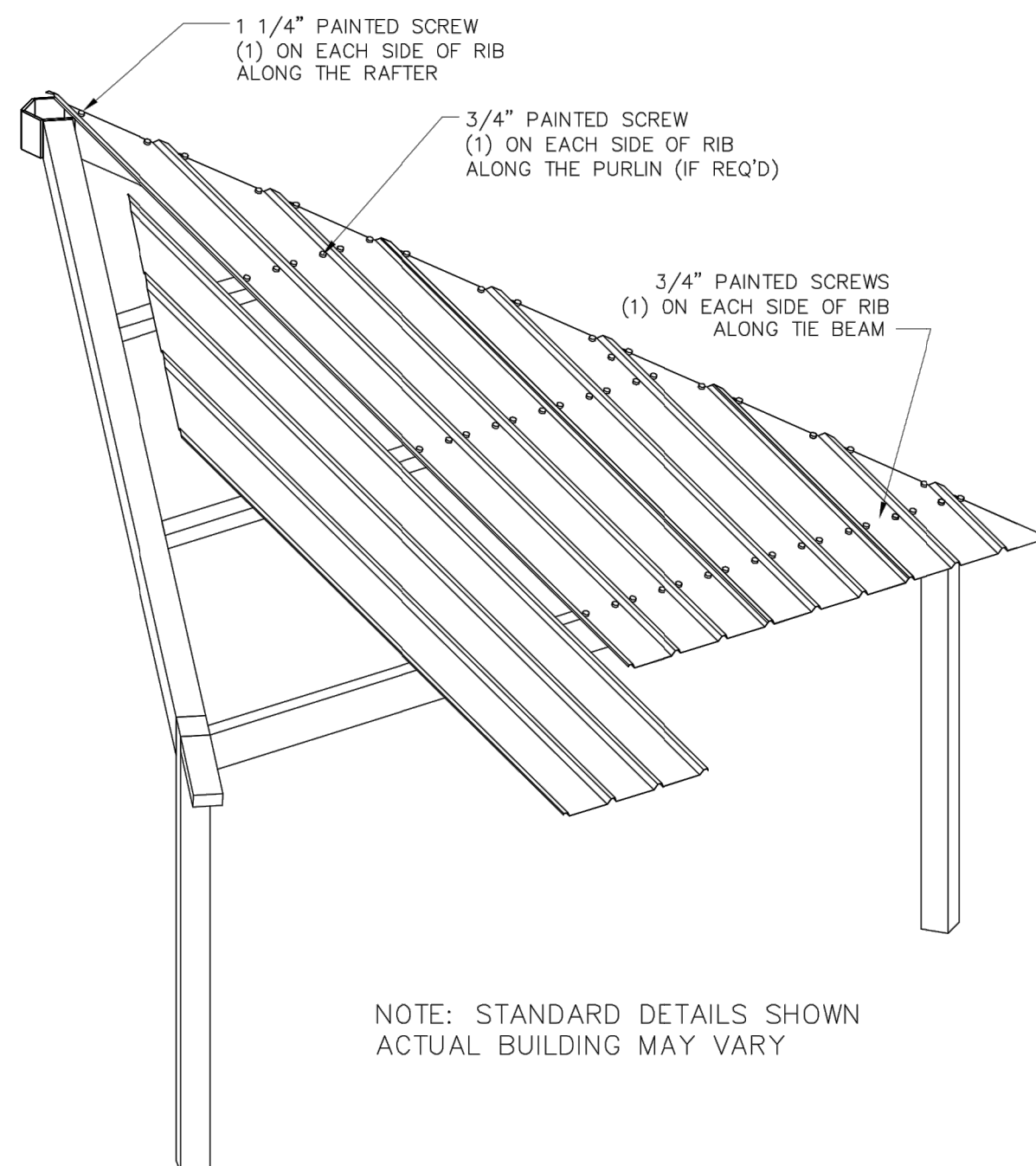
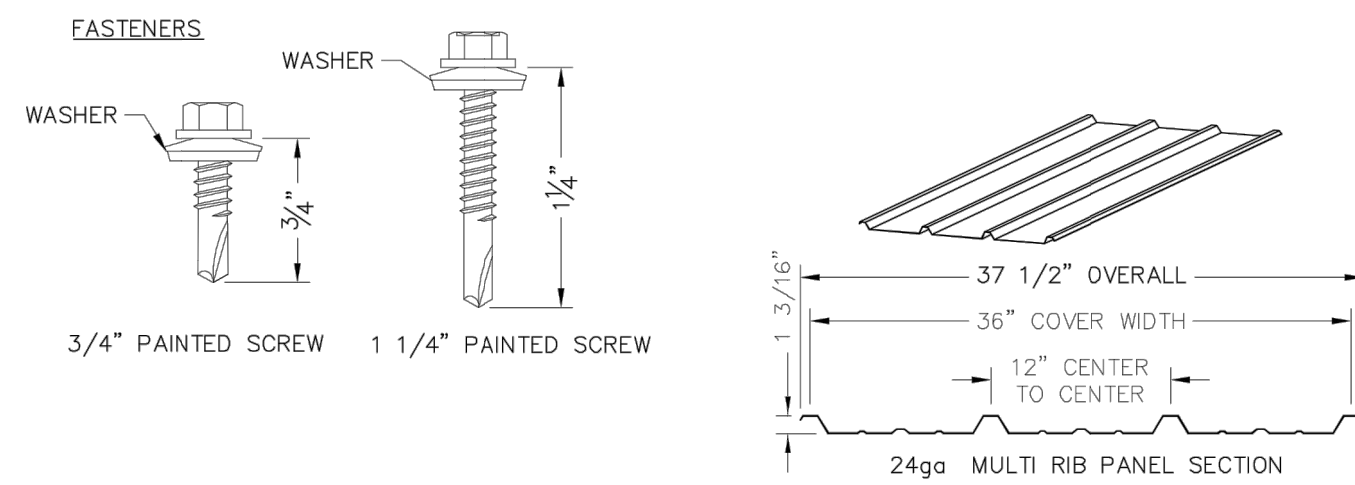
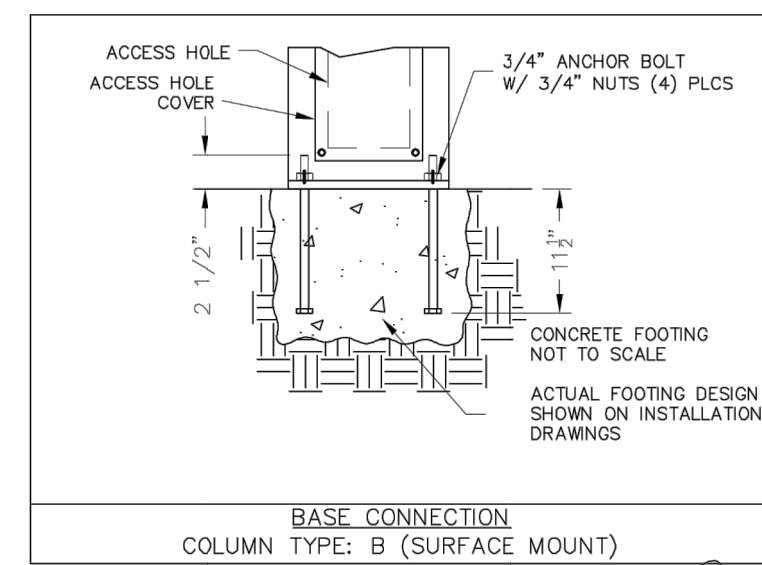
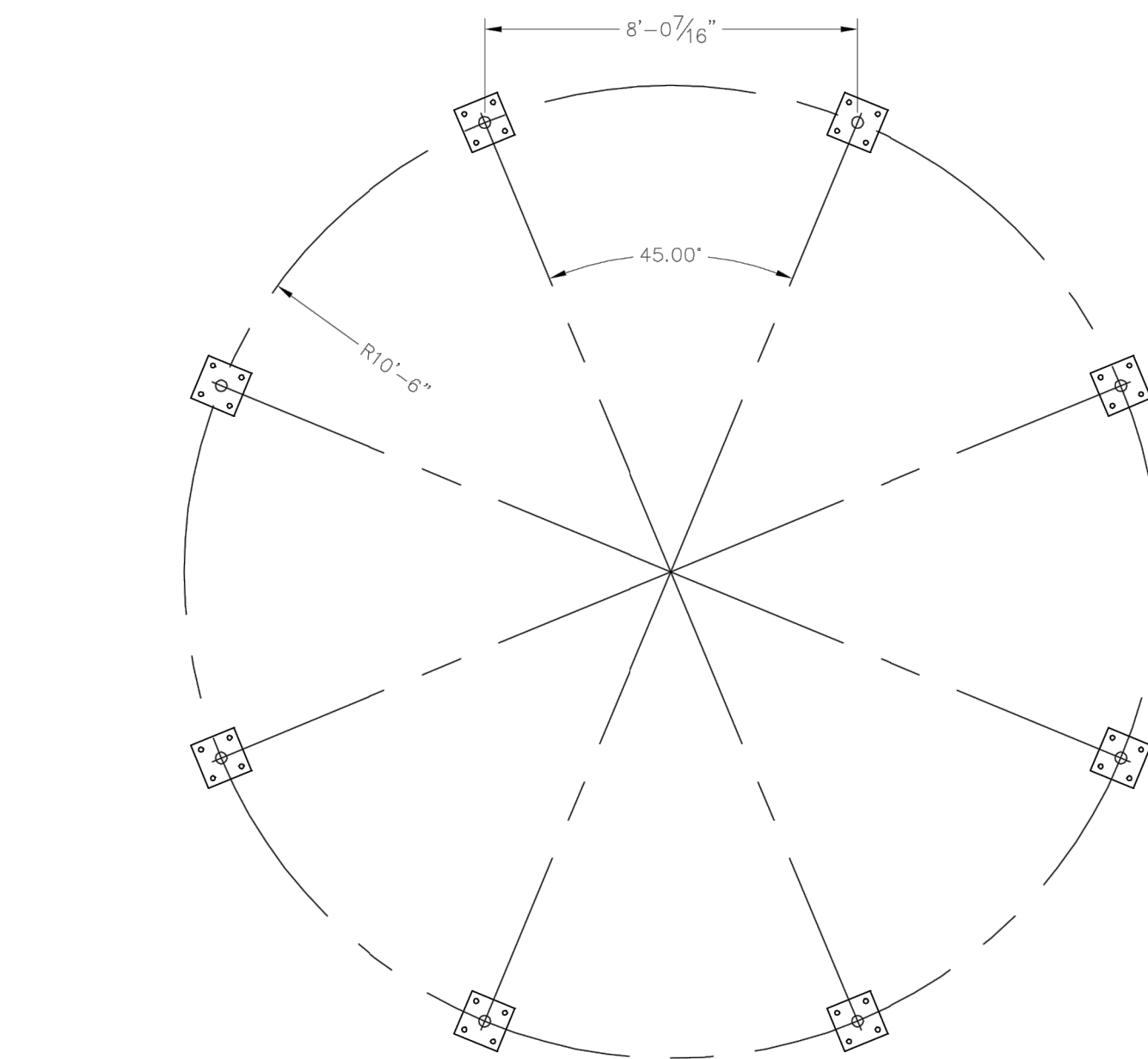
A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



LOAD COMBINATION	FOUNDATION LOADS				
	AXIAL (F <sub>x</sub> )	SHEAR (F <sub>y</sub> )	SHEAR (F <sub>z</sub> )	MOMENT (M <sub>y</sub> )	MOMENT (M <sub>z</sub> )
DL	0.69	0.00	0.01	-1.24	0.00
SL	2.56	0.00	0.04	-6.47	0.00
W-UPLIFT	-0.63	0.09	-0.05	6.49	11.97
W-FY	-0.61	-0.09	0.03	-3.37	-11.76
W-FZ	-0.60	-0.04	-0.12	13.86	-5.02
E-FY	-0.04	-0.93	-0.39	46.62	-111.30
E-FZ	-0.09	-0.39	-0.93	112.35	-46.20

NOTES:  
- TABLE SHOWS UNFACTORED SERVICE LOADS  
- A FOUNDATION DESIGN HAS NOT BEEN PERFORMED BY ICON SHELTER SYSTEMS INC.  
- A LICENSED ENGINEER FAMILIAR WITH SOIL CONDITIONS AT CONSTRUCTION SITE MUST PERFORM A FOUNDATION DESIGN.  
- THE STRUCTURE HAS BEEN ENGINEERED AS AN OPEN STRUCTURE.  
- CONSULT ICON SHELTER SYSTEMS INC. IF THE STRUCTURE IS TO BE ENCLOSED.  
- COORDINATES ARE LOCAL TO THE COLUMN.

DEFINITIONS:  
DL = SERVICE LEVEL DEAD LOAD REACTION WITH THE GREATEST AXIAL LOAD  
SL = SERVICE LEVEL SNOW LOAD REACTION WITH THE GREATEST AXIAL LOAD  
W-U = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST UPLIFT LOAD  
W-Y = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION  
W-Z = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Z DIRECTION  
E-Y = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION  
E-Z = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Z DIRECTION



NOTE: STANDARD DETAILS SHOWN  
ACTUAL BUILDING MAY VARY

ALL STRUCTURAL COMPONENTS WILL BE:  
TUBE: ASTM A500 GRADE B  
PLATE: ASTM A36  
BOLTS: ASTM A325  
NUTS: ASTM A563  
WELDING: GMAW

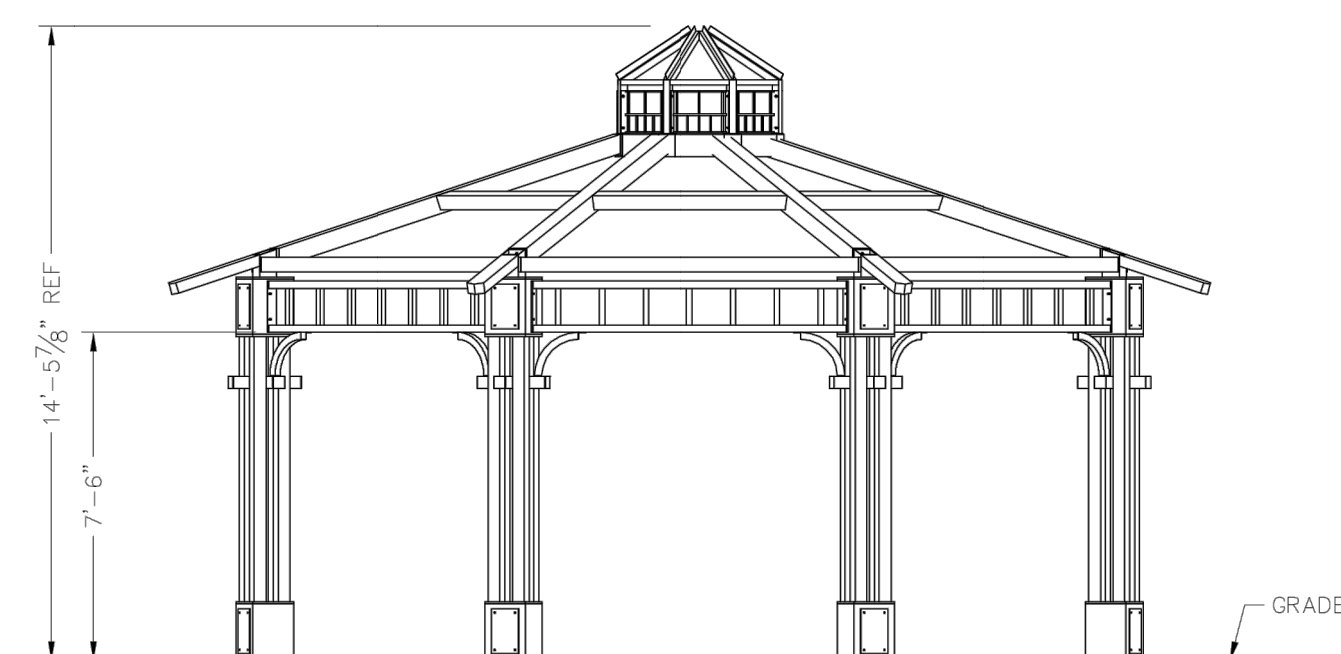
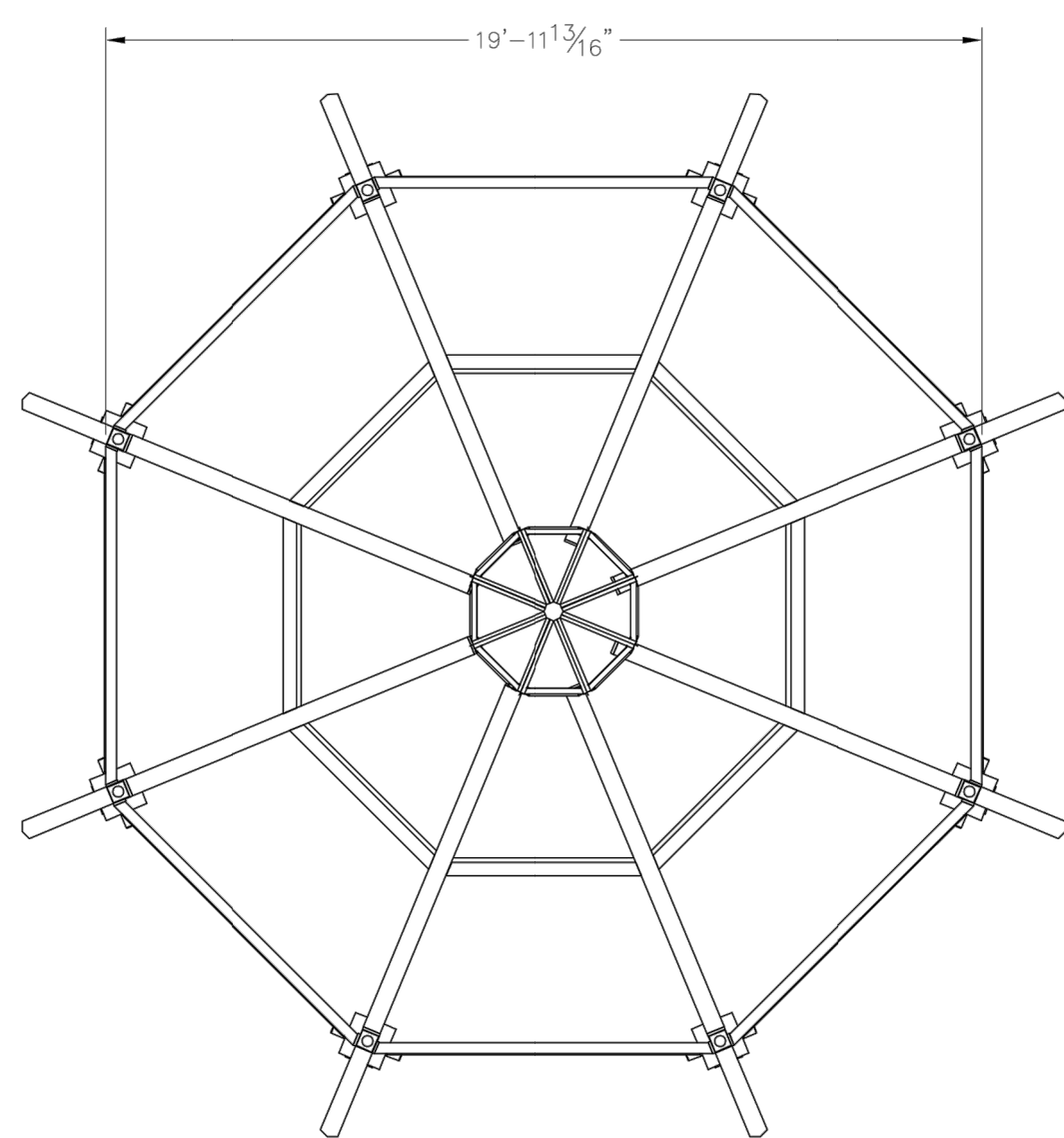
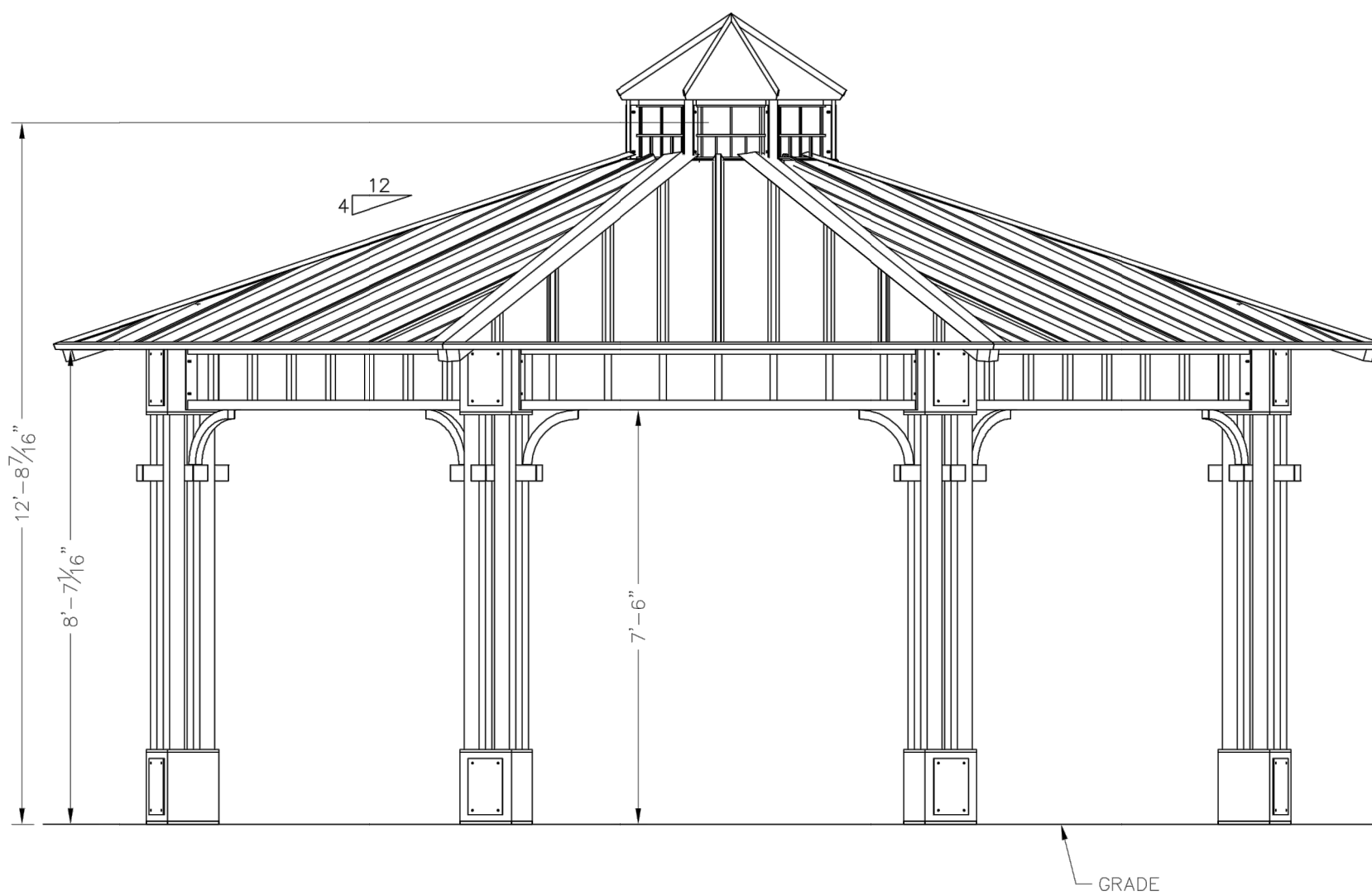
NOTE:  
COLUMN SIZE: (4) 3.5x3.5x0.1875

PRELIMINARY: NOT FOR  
CONSTRUCTION

PRELIMINARY: NOT FOR  
CONSTRUCTION

PRELIMINARY: NOT FOR  
CONSTRUCTION

PRELIMINARY: NOT FOR  
CONSTRUCTION



1 SHADE PAVILION 1  
SCALE: NOT TO SCALE

ENGINEERING:



**KT ENGINEERING**  
12500 W. 58th Ave #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kteng.net

ARCHITECTURE / PLANNING:

**acdc**  
architecture design collaborative  
10113 Inverness Main St, Suite T  
Englewood, Colorado 80112  
www.acdcollaborative.com  
303.351.0040



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LANDSCAPE ARCHITECTURE  
2755 South Locust St, Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY	
			KLW	KLW
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLW	KLW
2.	REVISIONS PER CITY COMMENTS	07/12/19	KLW	KLW
3.	REVISIONS PER CITY COMMENTS	08/22/19	KLW	KLW
4.				
5.				
6.				
8.				

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**42**  
OF 51

NOTE:  
1. STRUCTURE/FRAME TO BE OFF-WHITE  
2. ROOFING TO BE BLUE

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

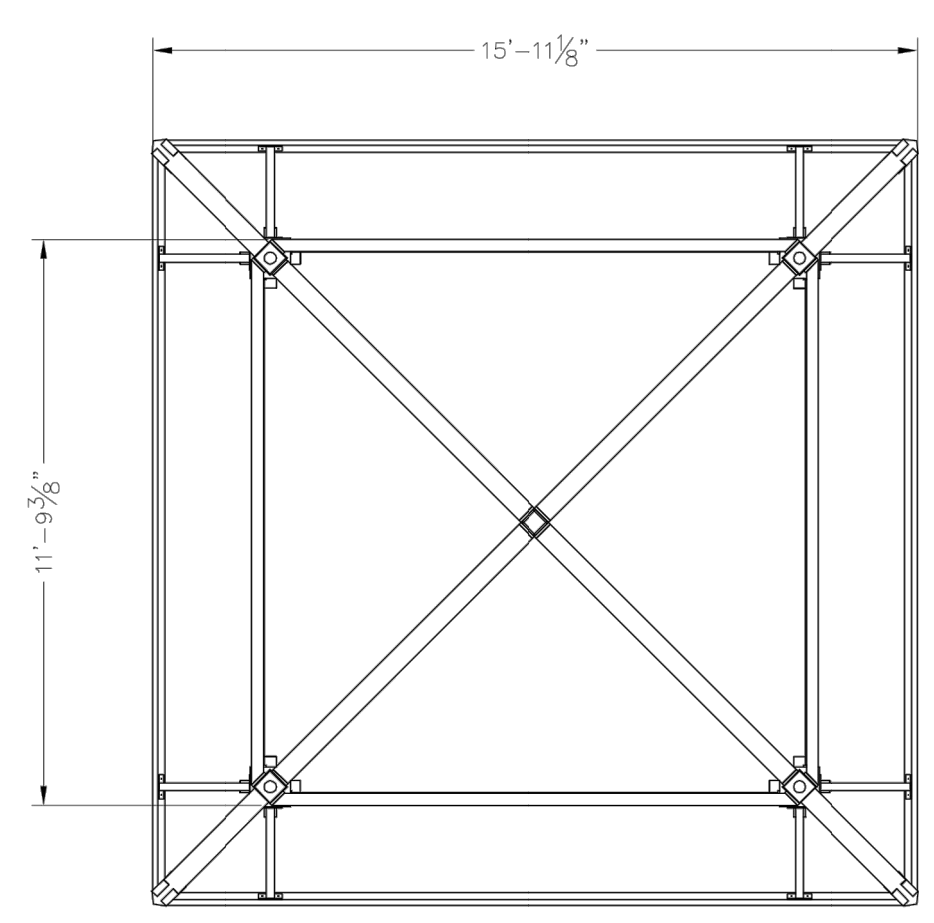
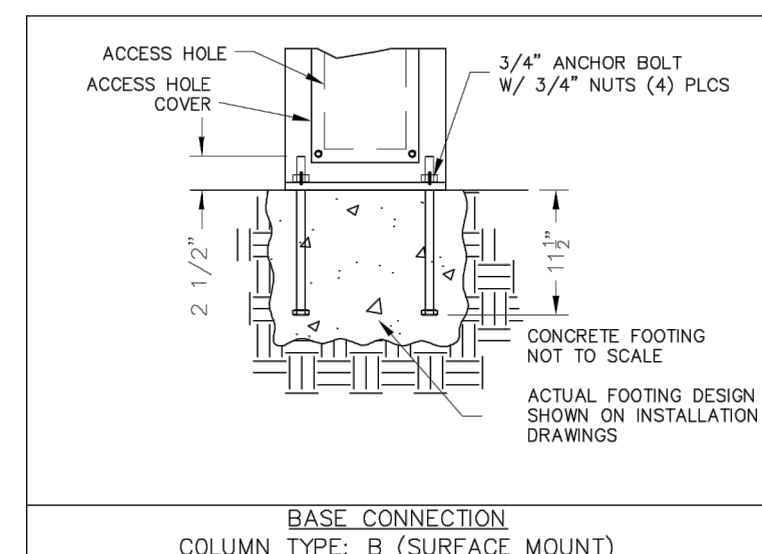
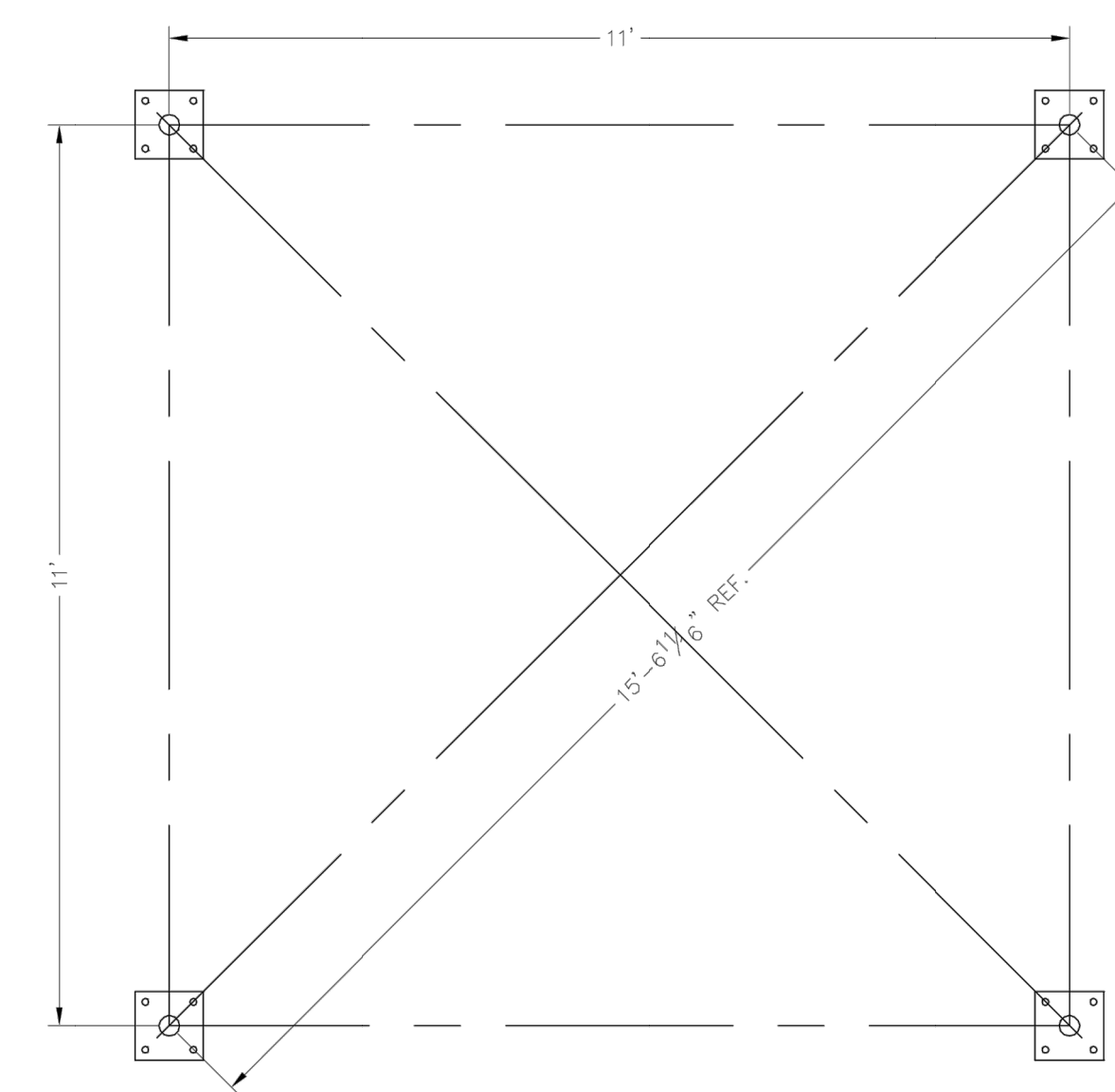
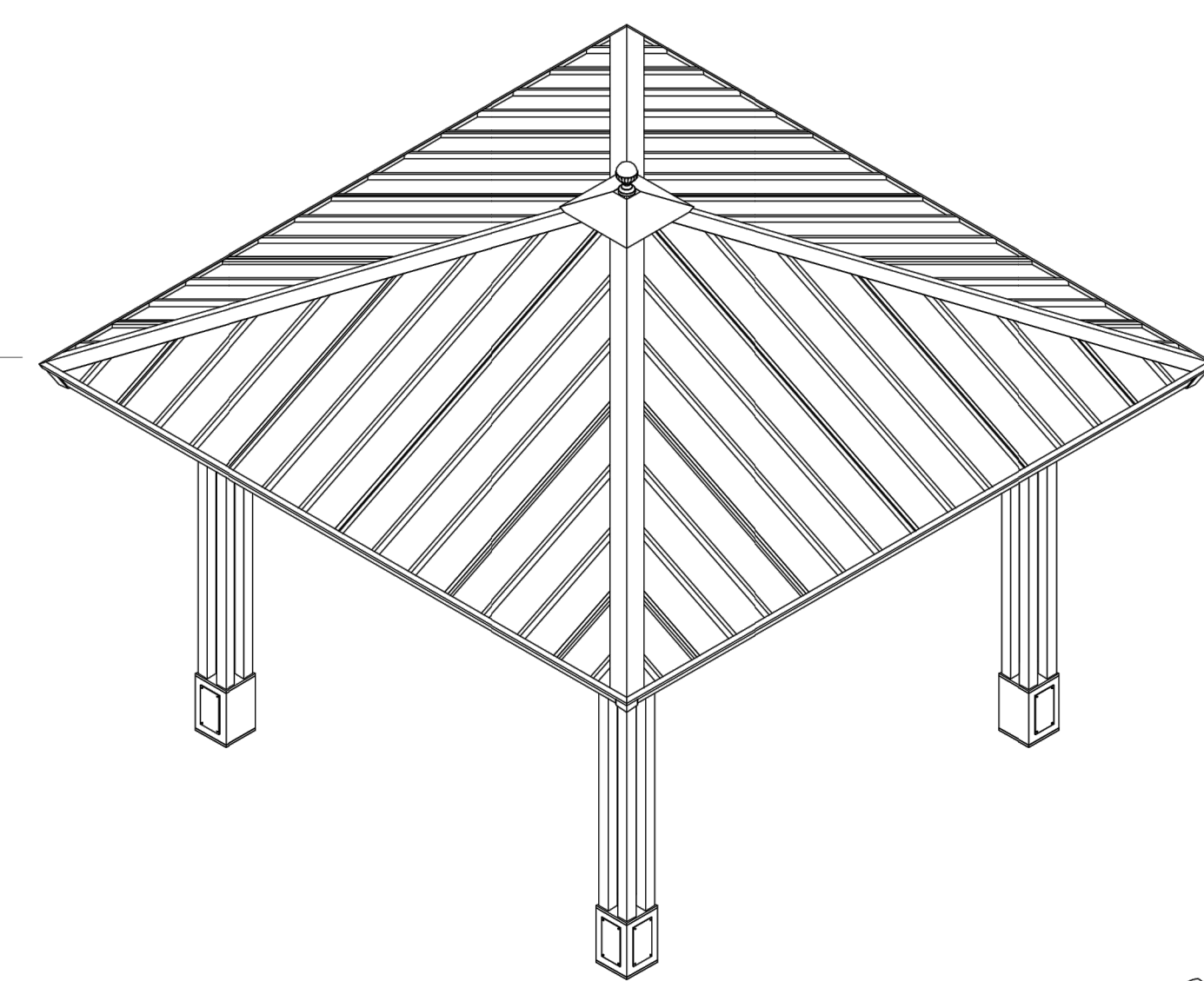
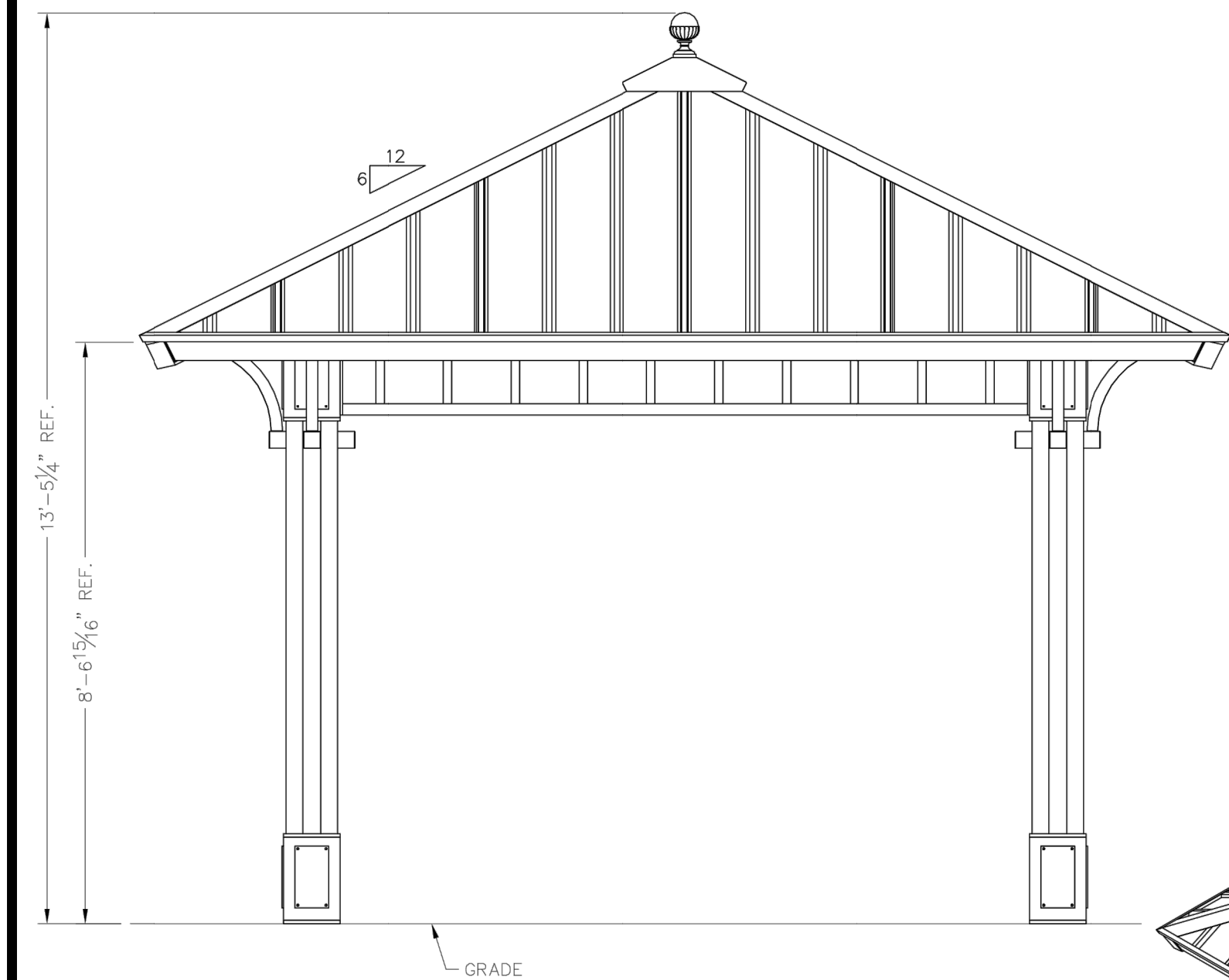
PRELIMINARY: NOT FOR CONSTRUCTION

THESE FOUNDATION LOADS ARE FOR ESTIMATING PURPOSE ONLY. THE ACTUAL LOADS WILL BE DETERMINED IN THE FINAL ENGINEERING

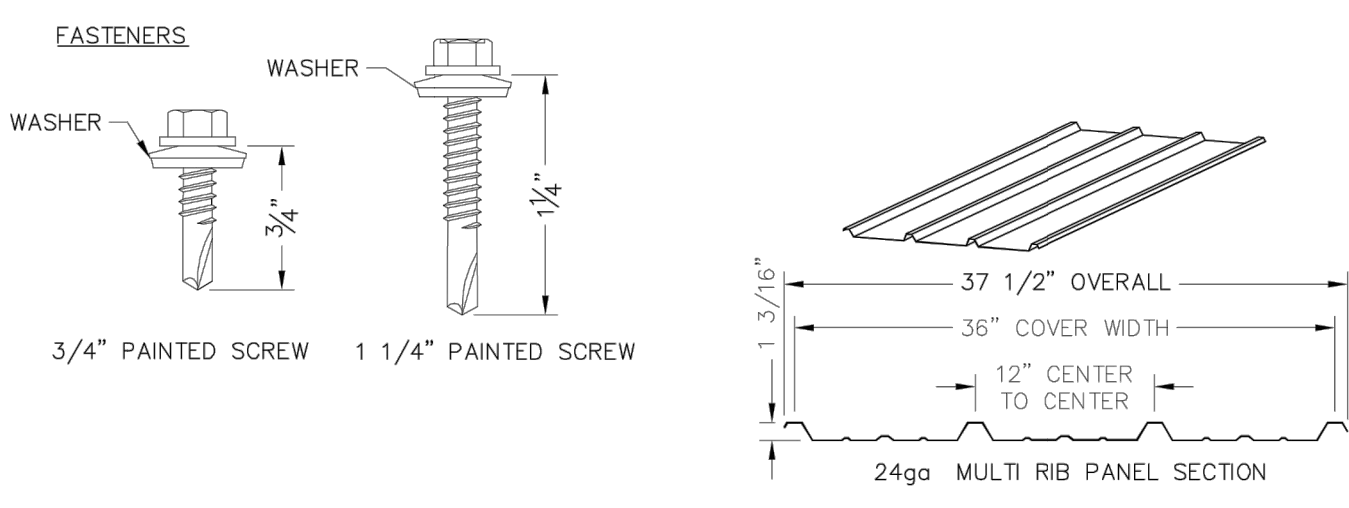
LOADS TO FOUNDATION (KIPS, KIP-FT)	FOUNDATION LOADS				
	AXIAL (F <sub>x</sub> )	SHEAR (F <sub>y</sub> )	SHEAR (F <sub>z</sub> )	MOMENT (M <sub>y</sub> )	MOMENT (M <sub>z</sub> )
DL	0.75	0.00	0.00	0.16	0.00
SL	2.26	0.00	0.00	0.08	0.00
W-UPLIFT	-1.26	0.19	-0.19	23.10	23.10
W-FY	-1.24	-0.19	0.20	-23.21	-23.10
W-FZ	-1.24	-0.19	0.20	-23.21	-23.10
E-FY	0.00	-0.80	-0.81	95.87	-95.55
E-FZ	0.00	-0.80	-0.81	95.87	-95.55

**NOTES:**  
 - TABLE SHOWS UNFACTORED SERVICE LOADS  
 - A FOUNDATION DESIGN HAS NOT BEEN PERFORMED BY ICON SHELTER SYSTEMS INC.  
 - A LICENSED ENGINEER FAMILIAR WITH SOIL CONDITIONS AT CONSTRUCTION SITE MUST PERFORM A FOUNDATION DESIGN.  
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 - CONSULT ICON SHELTER SYSTEMS INC. IF THE STRUCTURE IS TO BE ENCLOSED.  
 - COORDINATES ARE LOCAL TO THE COLUMN

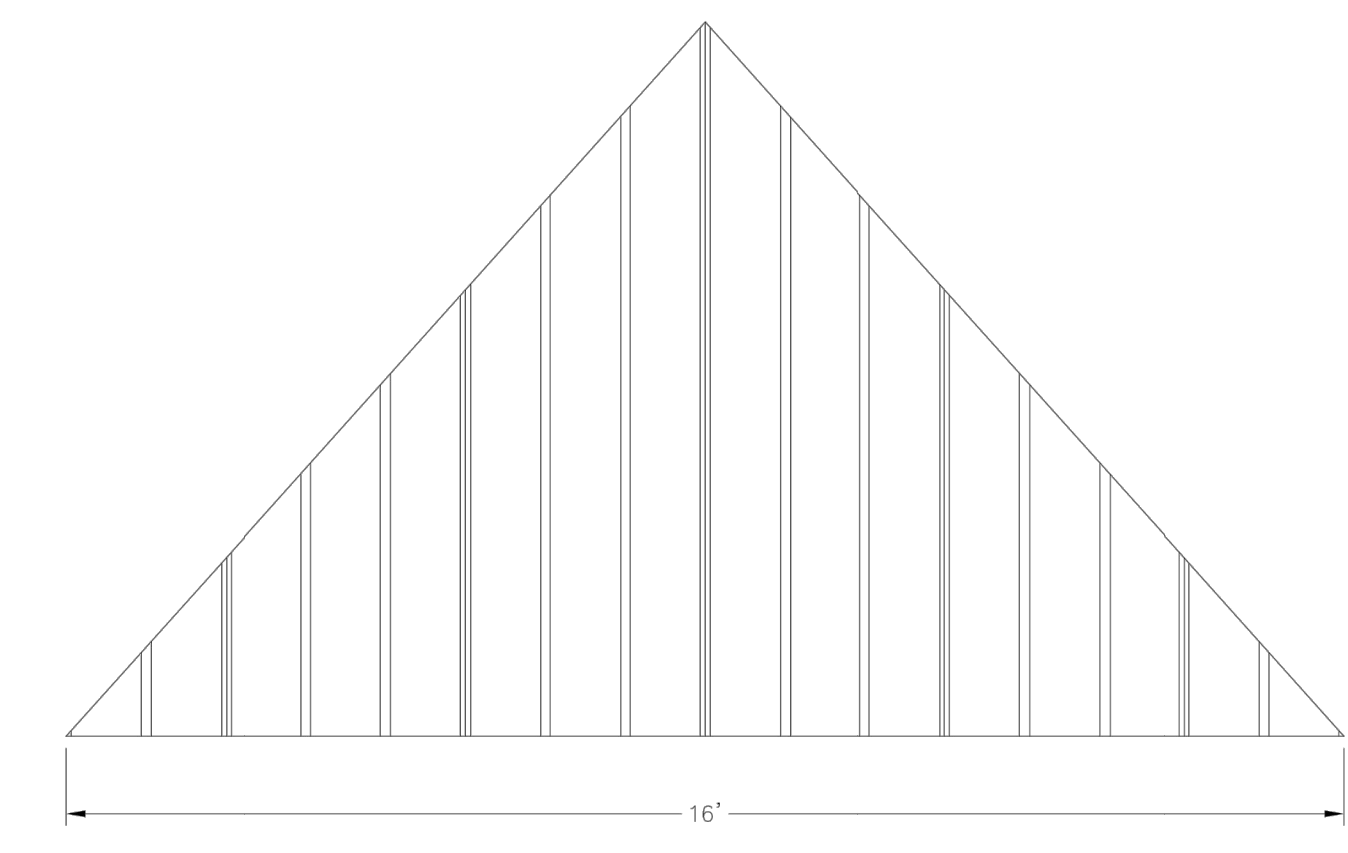
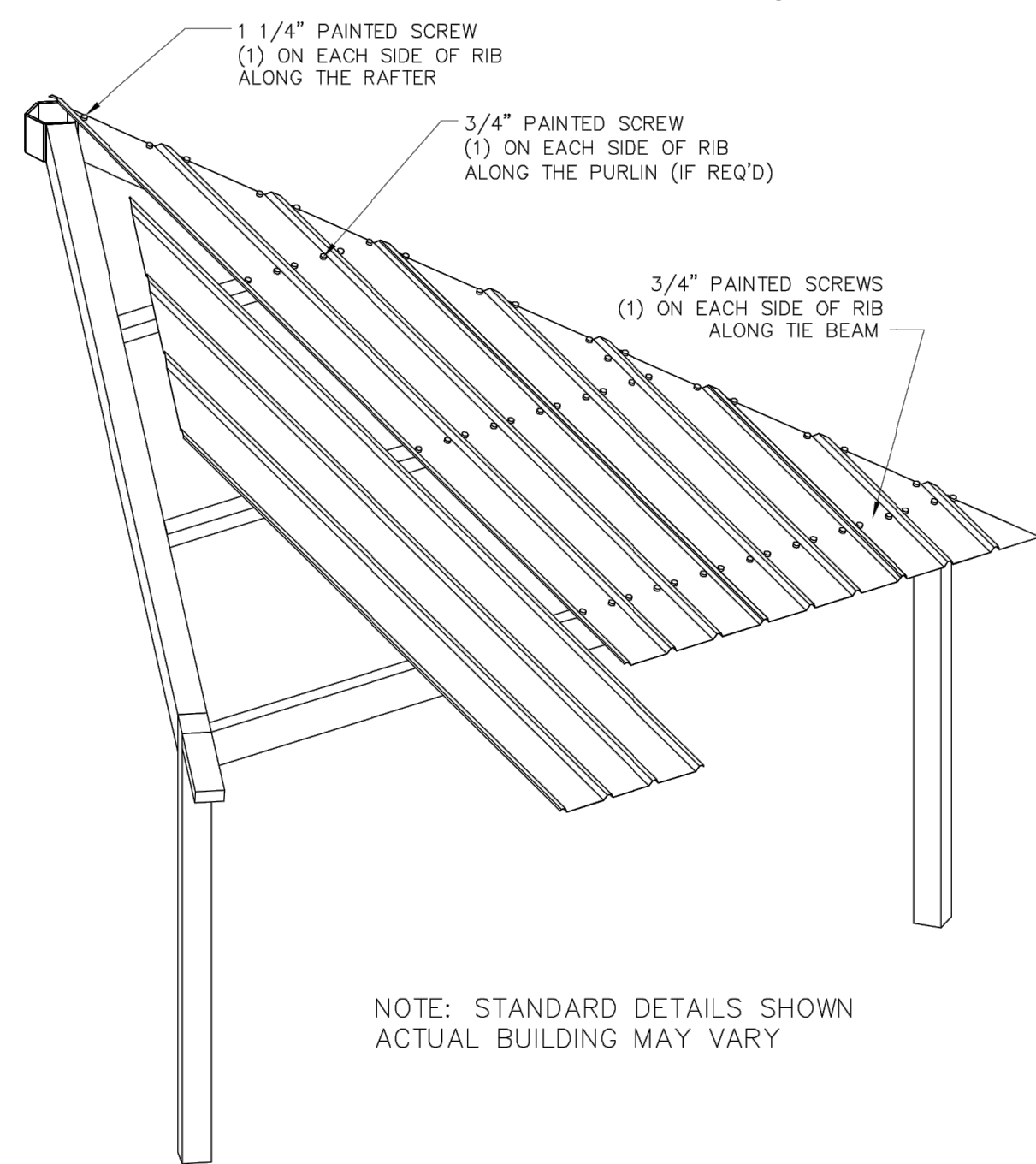
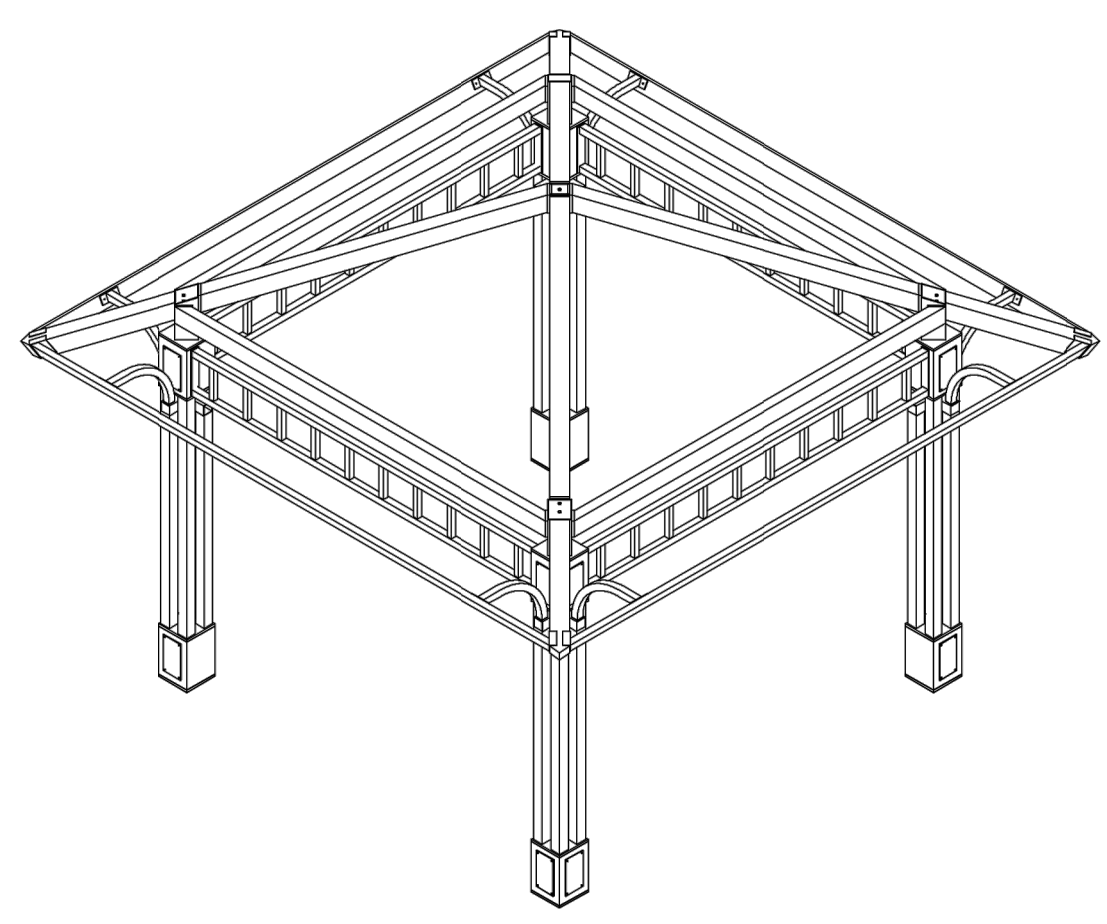
**DEFINITIONS:**  
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 W-UPLIFT = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST UPLIFT LOAD  
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 W-FZ = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Z DIRECTION  
 E-FY = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION  
 E-FZ = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Z DIRECTION



PRELIMINARY: NOT FOR CONSTRUCTION



PRELIMINARY: NOT FOR CONSTRUCTION



ALL STRUCTURAL COMPONENTS WILL BE:  
 TUBE: ASTM A500 GRADE B  
 PLATE: ASTM A36  
 BOLTS: ASTM A325  
 NUTS: ASTM A563  
 WELDING: GMAW

NOTE:  
 COLUMN SIZE: CC1-10 to HSS 6x6x3/16

NOTE: STANDARD DETAILS SHOWN  
 ACTUAL BUILDING MAY VARY

NOTE:  
 1. STRUCTURE/FRAME TO BE OFF-WHITE  
 2. ROOFING TO BE BLUE

S:\Projects\Ridge Road, Arvada\X\Landscaping\_Arch\FDP\_Sheets\FDP.dwg

1 SHADE PAVILION 2  
 SCALE: NOT TO SCALE

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
 12500 W. 58th Ave #230  
 Arvada, CO 80002  
 P: 720.638.5190  
 www.kting.net

ARCHITECTURE / PLANNING:  
**acdc**  
**architecture design collaborative**  
 10113 Inverness Main St, Suite T  
 Englewood, Colorado 80112  
 www.acdcollaborative.com  
 303.351.0040

**Consilium Design**  
 LAND PLANNING AND  
 LANDSCAPE ARCHITECTURE  
 2755 South Locust St, Suite 236  
 Denver, CO 80222  
 Ph. 303.224.9520  
 www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
 7333 South Atton Way  
 Centennial, CO 80112  
 P: 303.770.9111

NO.	REVISION DESCRIPTION	BY	DATE
		KLW	KLW
1.	REVISIONS PER CITY COMMENTS	KLW	05/20/19
2.	REVISIONS PER CITY COMMENTS	KLW	07/12/19
3.	REVISIONS PER CITY COMMENTS	KLW	08/22/19
4.			
5.			
6.			
8.			

SHEET INFO:

**HASKINS STATION**  
 FINAL DEVELOPMENT PLAN  
 SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
 DESIGNED BY:  
**XXX**

SCALE:  
**NA**

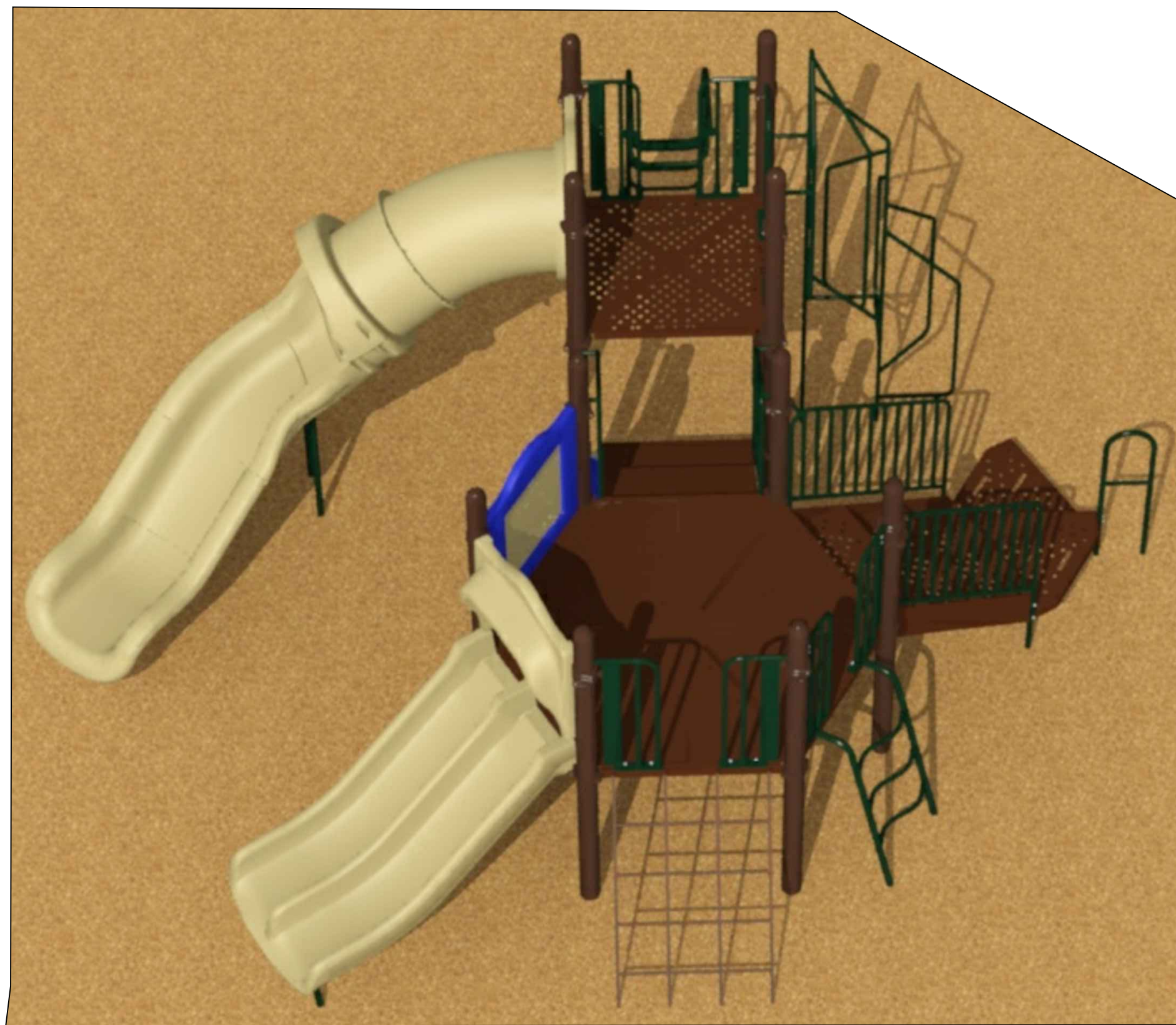
SUBMITTED ON:  
**08.22.2019**

**43**  
 OF 51

# HASKINS STATION

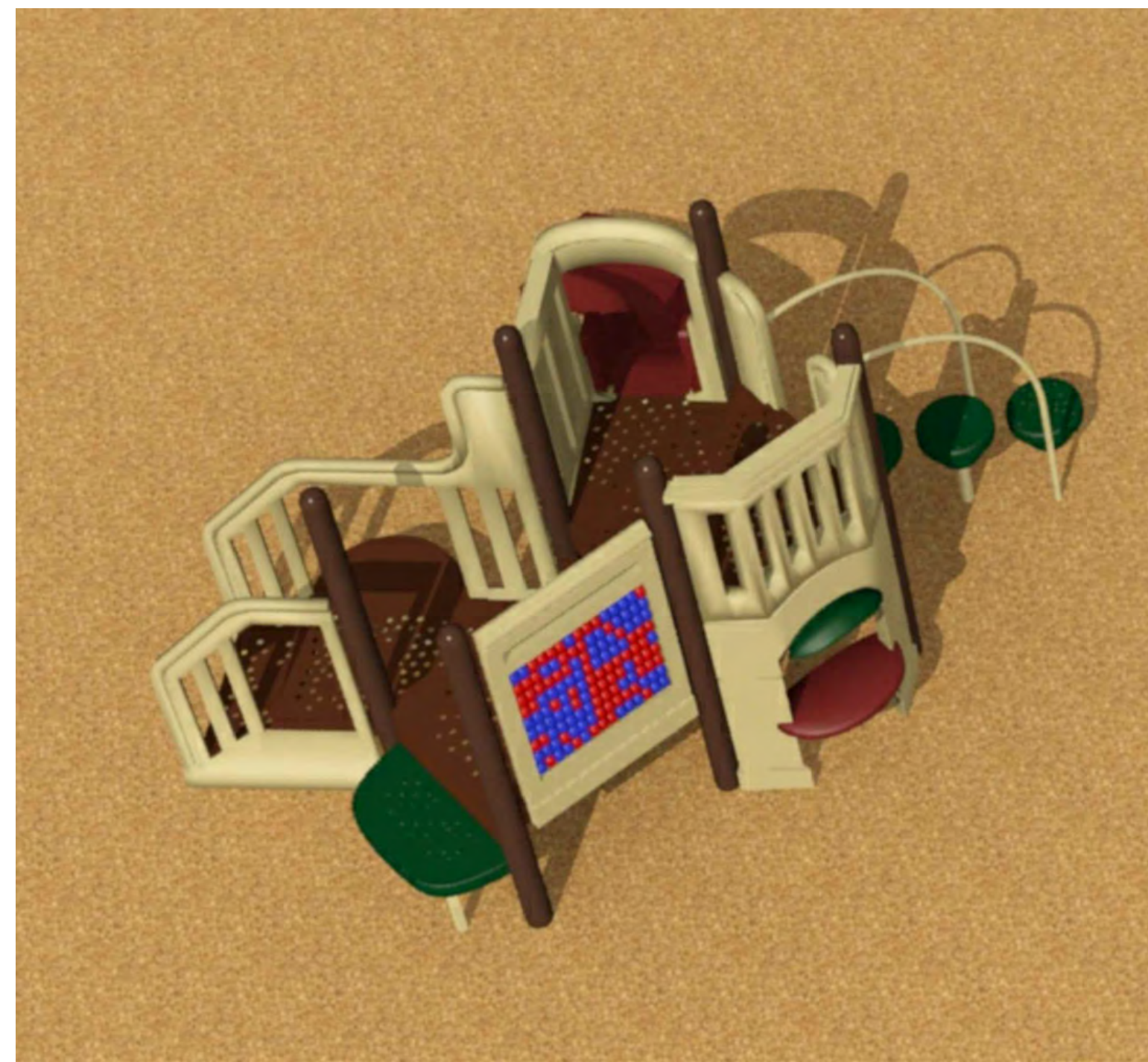
## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



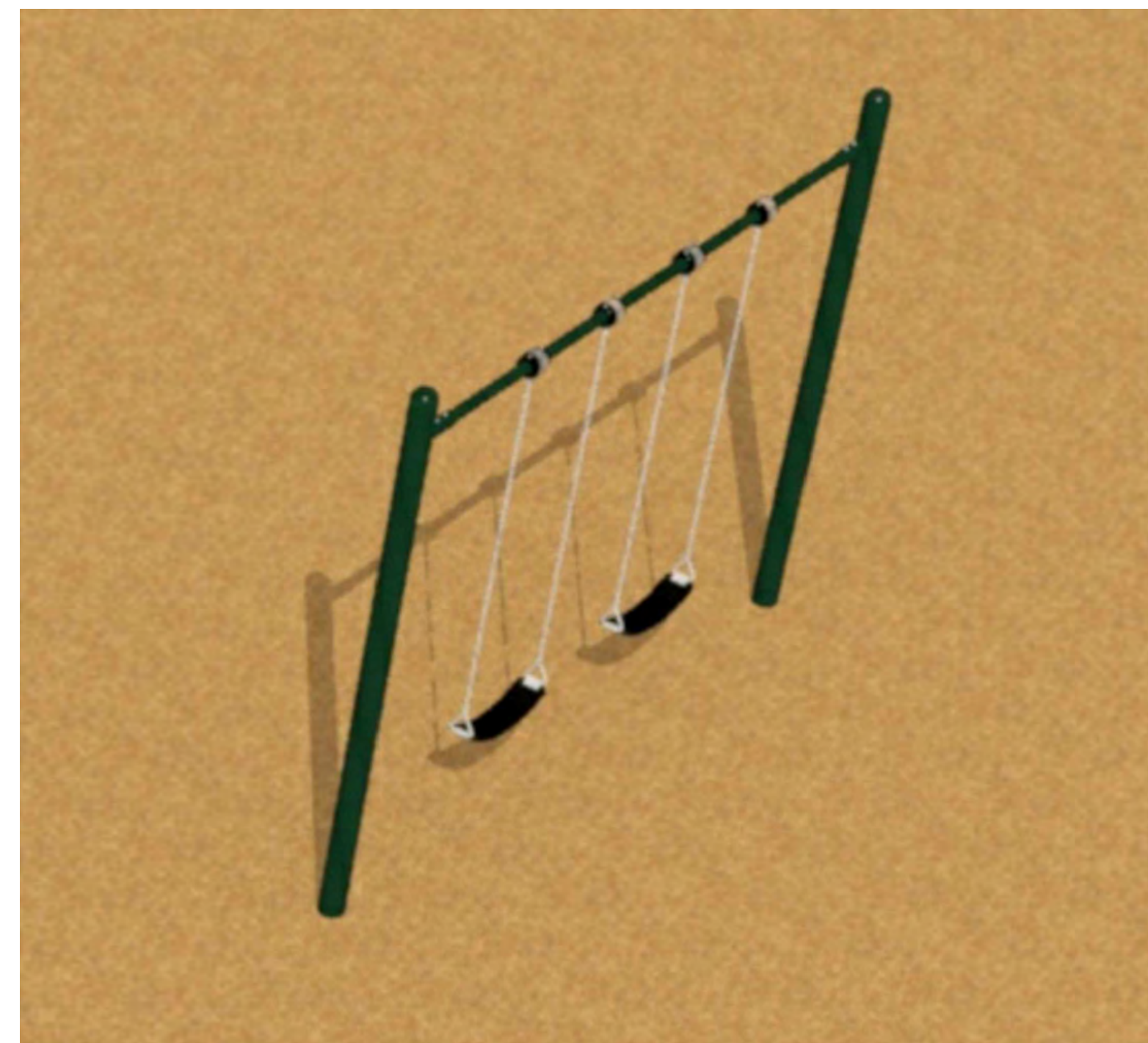
CONTACT: MIRIAM HOOTSTEIN @RECREATION PLUS

1 KID BUILDER PLAY STRUCTURE FOR 5-12 YRS.  
NOT TO SCALE



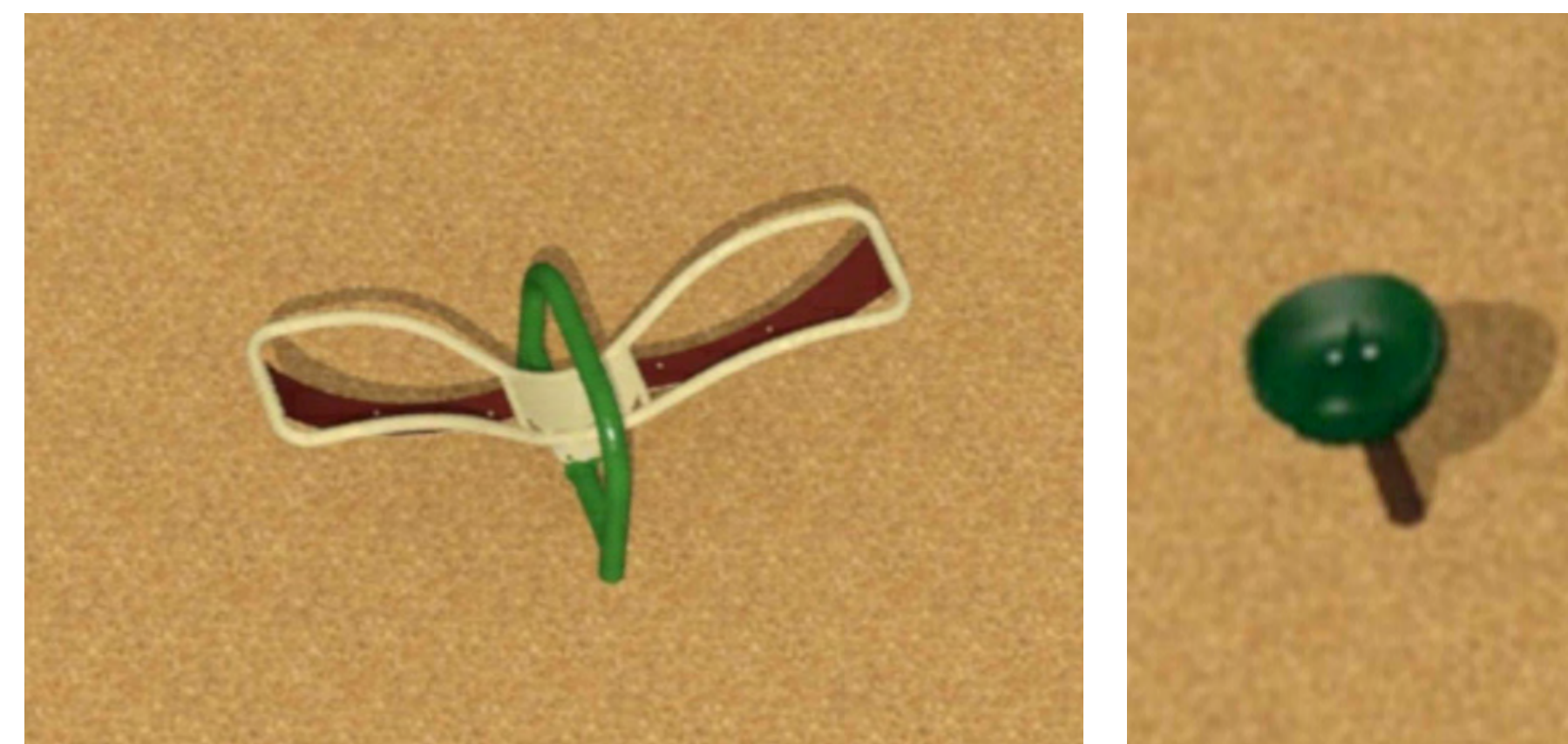
CONTACT: MIRIAM HOOTSTEIN @RECREATION PLUS

2 MINI MAX PLAY STRUCTURE FOR 2-5 YRS.  
NOT TO SCALE



CONTACT: MIRIAM HOOTSTEIN @RECREATION PLUS

3 MAX PLAY SWING SET WITH 2 BELT SEATS  
NOT TO SCALE



CONTACT: MIRIAM HOOTSTEIN @RECREATION PLUS

4 DRAGONFLY AND SOLO SPINNER  
NOT TO SCALE

THE FIBAR GROUP LLC  
80 BUSINESS PARK DRIVE, SUITE 300  
ARMONK, NY 10504  
TOLL FREE: 1-800-372-2721  
PHONE: (914) 273-8770  
FAX: (914) 273-8659  
www.fibar.com

SECTION "B"

NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.  
2. DO NOT SCALE DRAWINGS, FOR ILLUSTRATION PURPOSES ONLY.  
3. THE FIBAR SYSTEM IS PROTECTED BY US PATENTS 4679963, 5026207, 5076726 AND PATENTS PENDING.  
4. AWARD CONTRACTORS MUST OBTAIN A LICENSE FROM FIBAR, INC. PRIOR TO CONSTRUCTION.  
5. FIBARMAT WEAR MATS MUST BE INSTALLED UNDER ALL SWINGS, TIRE SWINGS & SLIDE EXITS TO PRESERVE WARRANTY. SEE 312-002.  
6. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) REFERENCE NUMBER 312-007.

**ENGINEERED WOOD FIBER PLAYGROUND SAFETY SURFACING**  
SYSTEM 300 IN GROUND INSTALLATION DETAILS, N.T.S.

312-007
REVISION DATE 02/19/2016

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CADdetails.com

5 FIBAR PLAYGROUND SURFACING  
SCALE: NOT TO SCALE

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12500 W. 58th Ave. #230  
Arvada, CO 80002  
P: 720-638-5190  
www.kting.net

ARCHITECTURE / PLANNING:  
**acdc**  
architecture design collaborative  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.acdcollaborative.com  
303.351.0040

**Consilium Design**  
LAND PLANNING AND  
LANDSCAPE ARCHITECTURE  
2755 South Locust St. Suite 236  
Denver, CO 80222  
Ph. 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	DATE	BY	REVISION DESCRIPTION
1.	05/20/19	KLW	REVISIONS PER CITY COMMENTS
2.	07/12/19	KLW	REVISIONS PER CITY COMMENTS
3.	08/22/19	KLW	REVISIONS PER CITY COMMENTS
4.			
5.			
6.			
8.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

44  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

ENGINEERING:  
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**KT ENGINEERING**  
12500 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720.638.5190  
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2.	REVISIONS PER CITY COMMENTS	07/12/19	KLW
3.	REVISIONS PER CITY COMMENTS	08/22/19	KLW
4.			
5.			
6.			
8.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
LANDSCAPE DETAILS

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

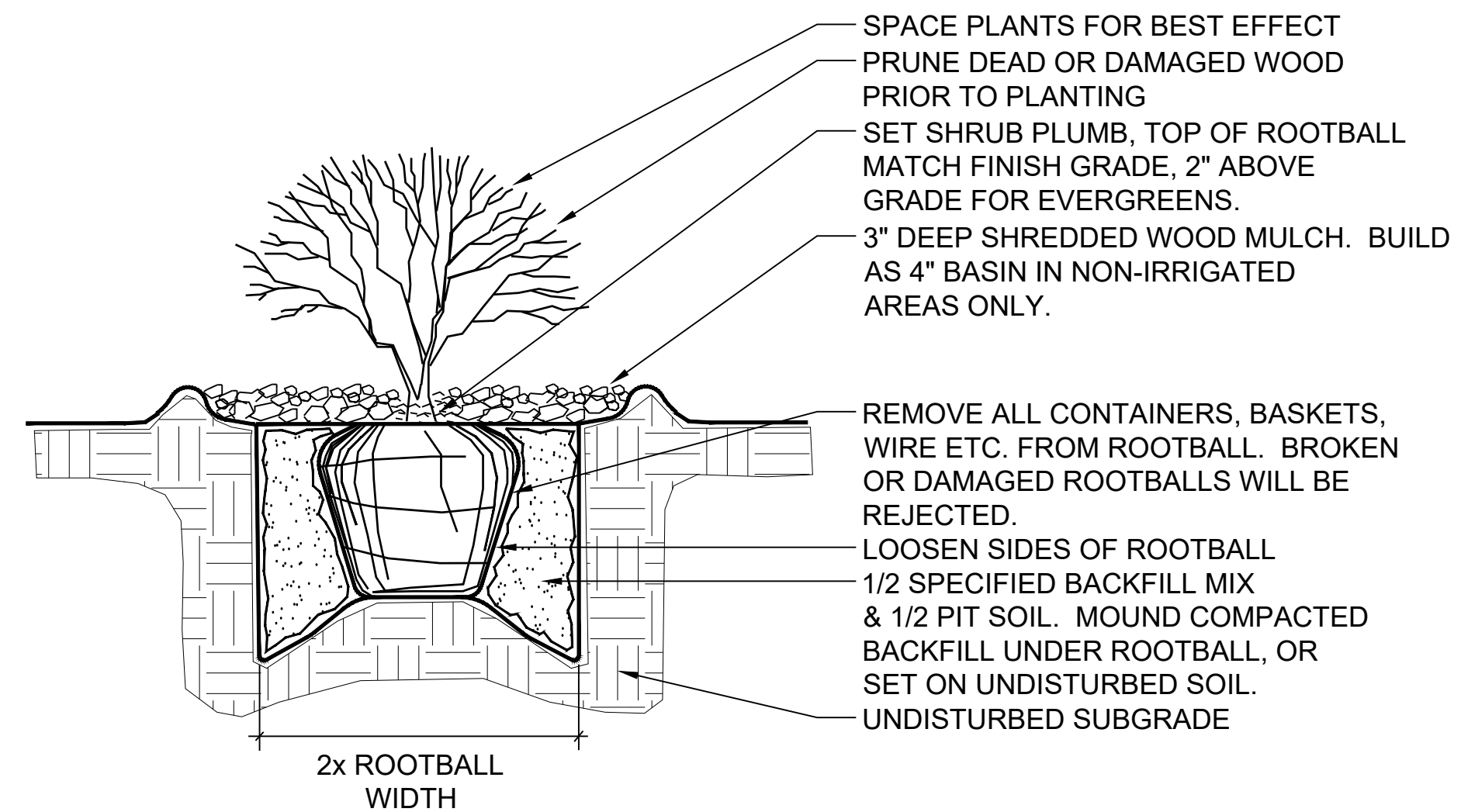
SCALE:  
**NA**

SUBMITTED ON:  
**08.22.2019**

**45**  
OF 51

NOTE:

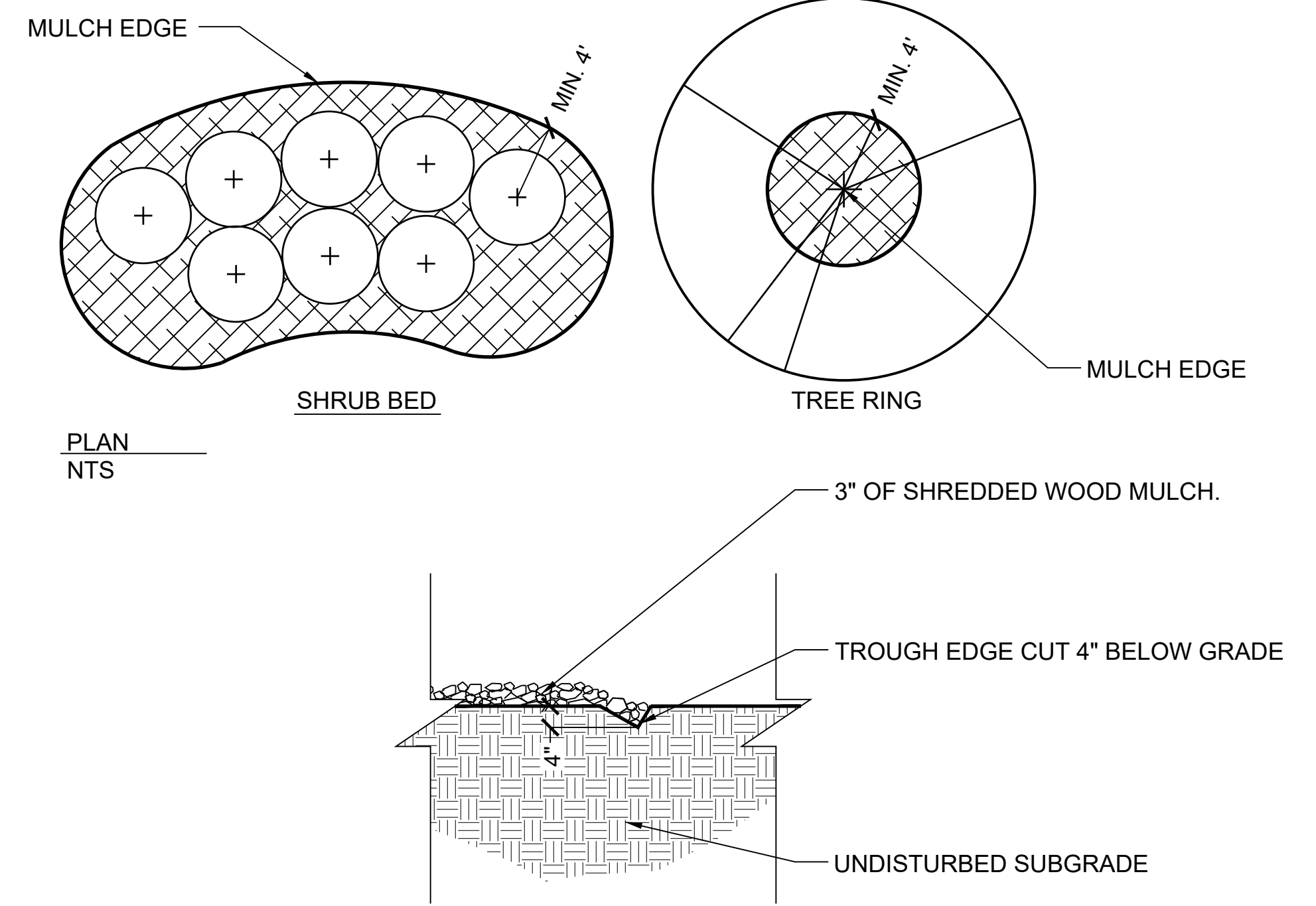
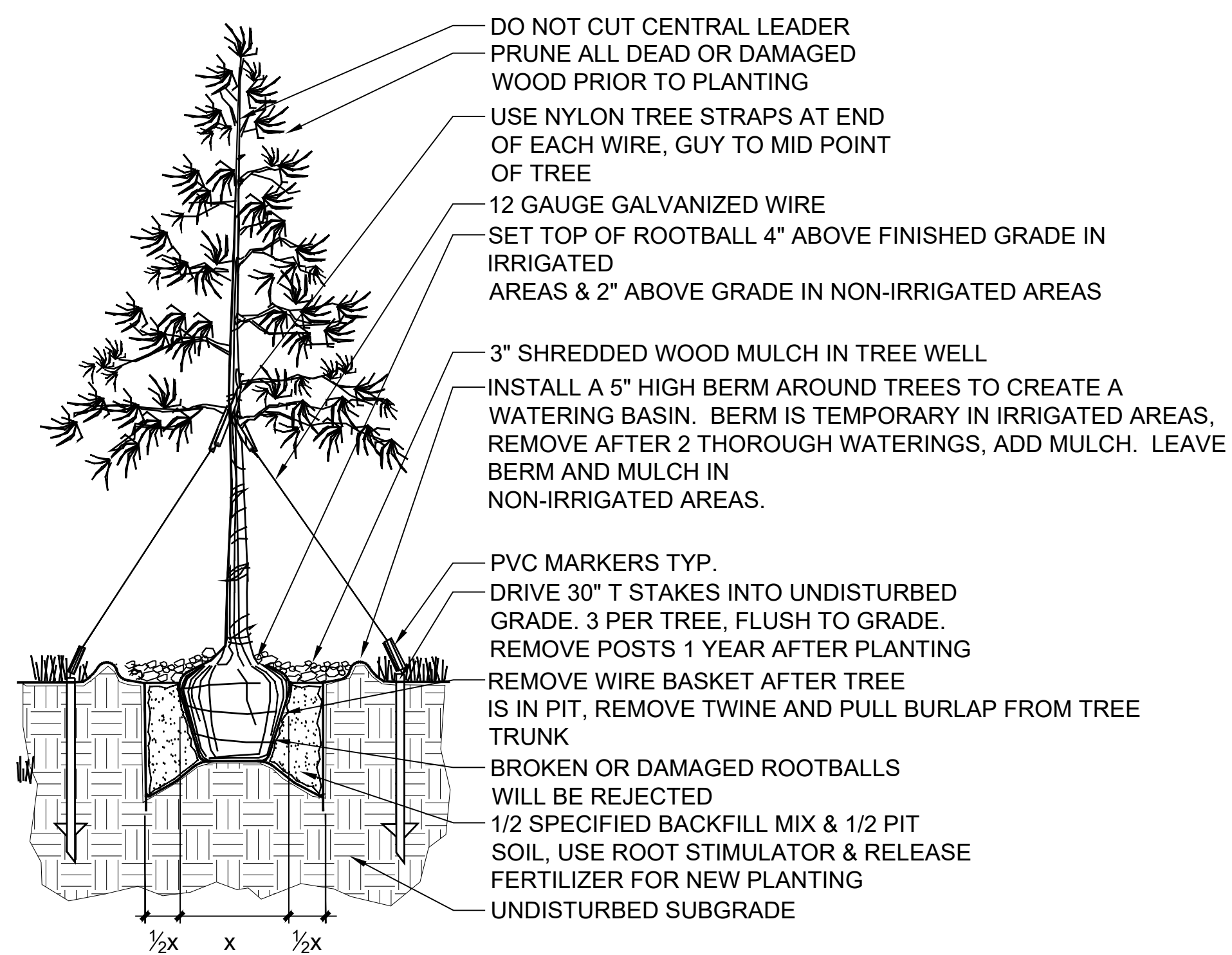
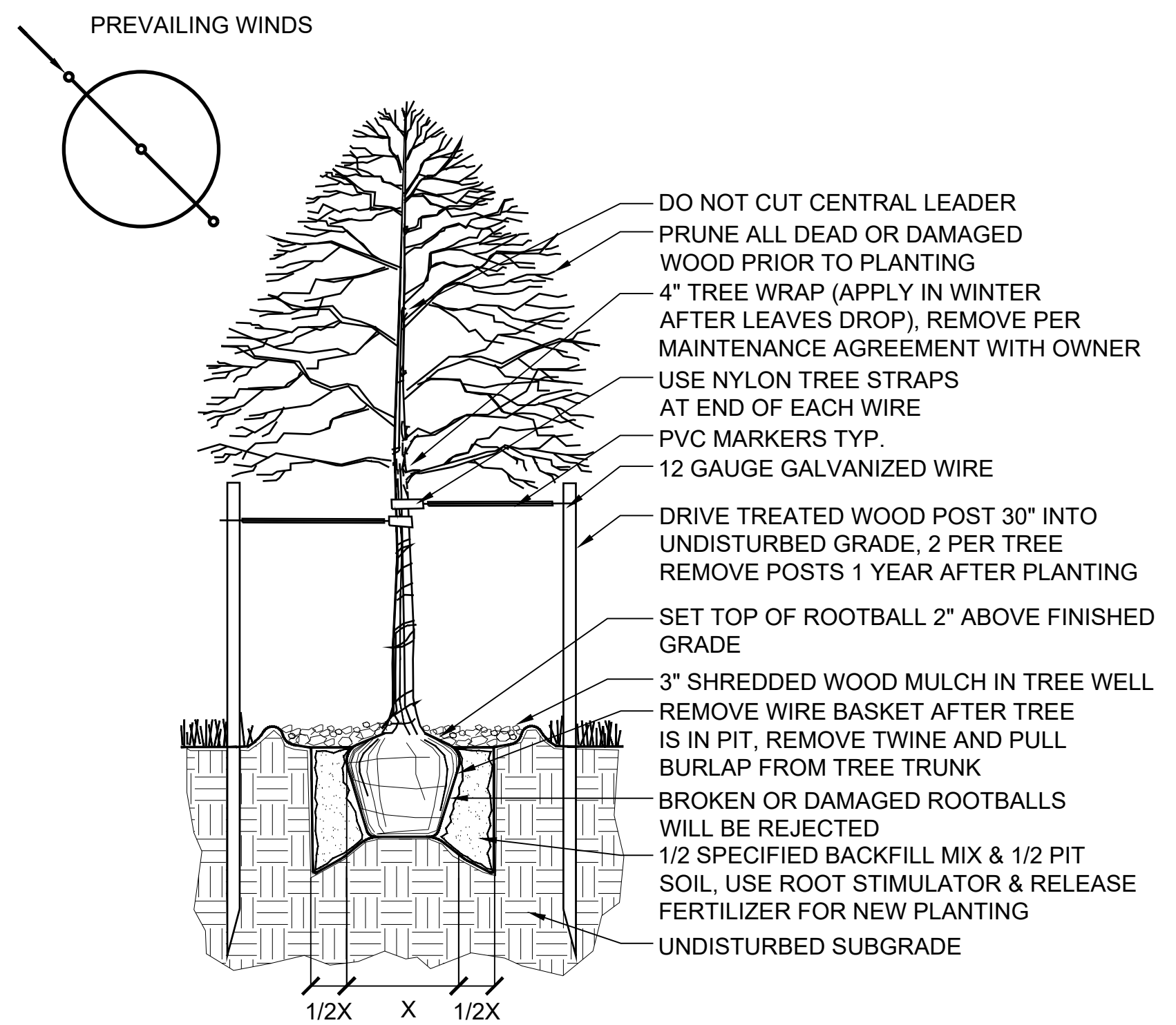
- TREE LAWNS AND FRONT SETBACKS SHALL BE LANDSCAPED WITH TREES, TURF, LOW GROUND COVERS, SHRUBS, OR FLOWERS.
- SHRUBS SHALL BE PLANTED ANYWHERE IN YARDS—IN CLUSTERS OR PLANTERS, ETC—AT A RATE OF 1 SHRUBS PER EVERY 5LF OF BUILDING FOUNDATION.
- MIN. 1 SHADE, ORNAMENTAL, OR EVERGREEN TREE IN FRONT YARD
- TURF GRASS TO BE PLANTED IN TREE LAWNS AND WITHIN FRONT YARD
- NO DRIP IRRIGATION WITHIN 5' OF BUILDING FOUNDATIONS
- STREET TREES TO BE PLANTED 40' OC EXCEPT WHERE UTILITY AND DRIVEWAY CONFLICTS ARISE. SEE APPROXIMATE LOCATIONS ON SHEETS L2.0-2.16
- ALL PLANTS TO BE LOCATED NO CLOSER THAN 5' FROM FOUNDATIONS
- MIN. 15' FRONT SETBACK EXCEPT FOR DUPLEX HOMES WHICH ARE MIN. 12'
- NO LANDSCAPE REQUIREMENTS FOR YARDS ADJACENT TO OPEN SPACE OR INTERIOR SIDE YARDS



### 1 TYPICAL LOT LANDSCAPING REQUIREMENTS

### 2 SHRUB PLANTING

NOT TO SCALE



SECTION

### 3 DECIDUOUS TREE PLANTING

NOT TO SCALE

### 4 EVERGREEN TREE PLANTING

NOT TO SCALE

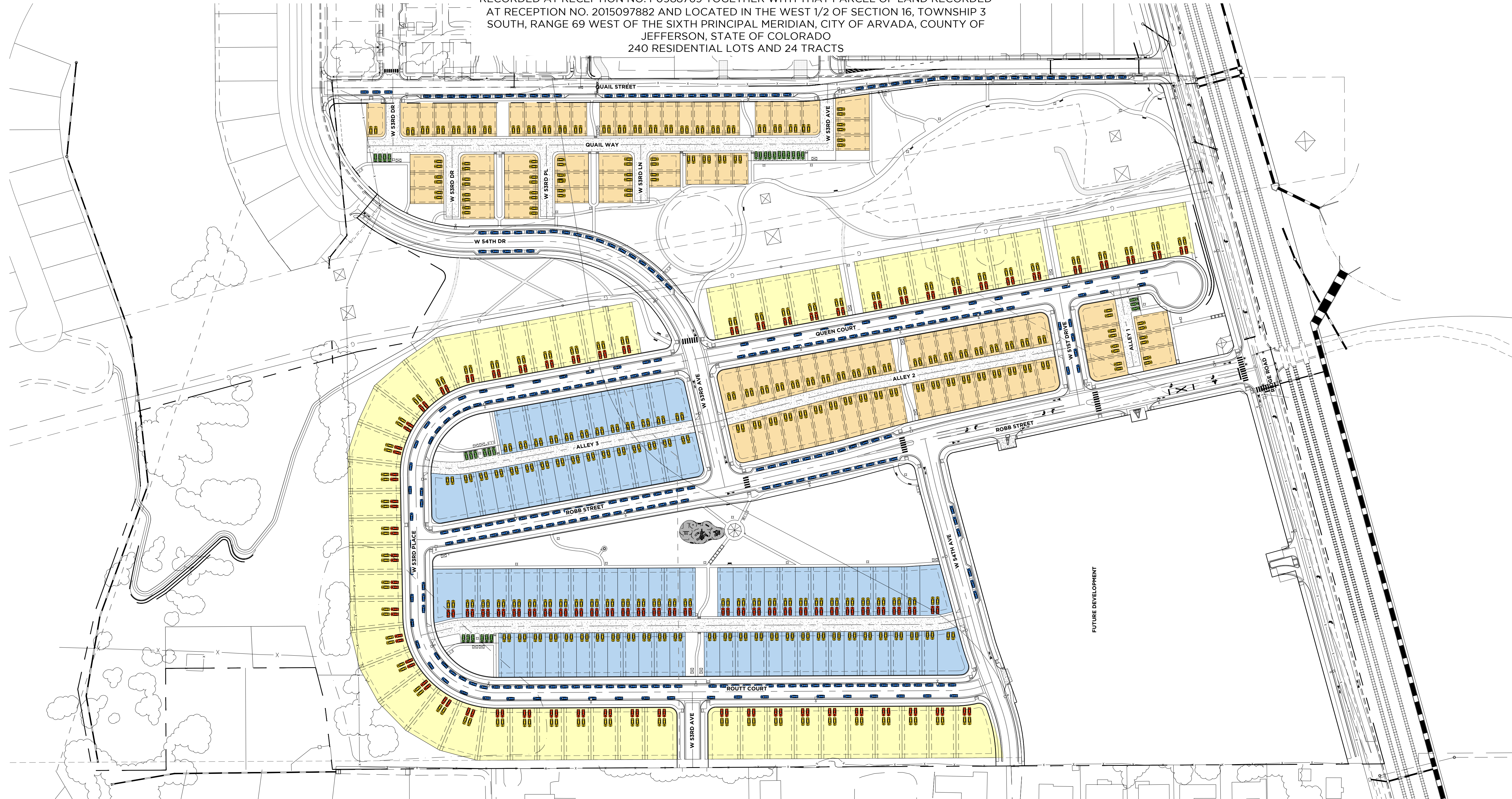
### 5 SOFT MULCH EDGE AT NATIVE GRASS

NOT TO SCALE

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



### SINGLE FAMILY DETACHED HOMES PARKING

REQUIRED (2.0 / UNIT) SPACES	= 112
OFF STREET	
PROVIDED (DRIVEWAY)	= 112 SPACES
PROVIDED (GARAGE)	= 112 SPACES
ON STREET	
PROVIDED (UNASSIGNED)	= 55 SPACES
<b>PROVIDED TOTAL</b>	<b>= 279 SPACES</b>

### ALLEY ACCESSED SINGLE FAMILY HOMES PARKING

REQUIRED (2.0 / UNIT) SPACES	= 196
OFF STREET	
PROVIDED (GARAGE)	= 198 SPACES
PROVIDED (UNASSIGNED)	= 18 SPACES
ON STREET	
PROVIDED (UNASSIGNED)	= 135 SPACES
<b>PROVIDED TOTAL</b>	<b>= 351 SPACES</b>

### ALLEY ACCESSED PAIRED HOMES PARKING

REQUIRED (2.0 / UNIT) SPACES	= 172
OFF STREET	
PROVIDED (DRIVEWAY)	= 60 SPACES
PROVIDED (GARAGE)	= 172 SPACES
PROVIDED (UNASSIGNED)	= 12 SPACES
ON STREET	
PROVIDED (UNASSIGNED)	= 117 SPACES
<b>PROVIDED TOTAL</b>	<b>= 361 SPACES</b>

S:\Projects\Ridge Road Arvada\Xlandscape\_Arch\FEP\EXHIBITS.dwg, 8/23/2019 10:00:10 AM, Program: SuitePoint Design (C:\msdcs\pro\user\jacob@skidmore.com)

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12500 W. 58th Ave. #330  
Arvada, CO 80002  
P: 720-638-5190  
www.kting.net

ARCHITECTURE / PLANNING:  
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architecture design collaborative  
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Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040

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LANDSCAPE ARCHITECTURE  
7353 South Alton Way, Suite 135  
Centennial, CO 80112  
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www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7353 South Alton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05-20-2019	KLW
2.	REVISIONS PER CITY COMMENTS	07-12-2019	KLW
3.			
4.			
5.			
6.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
PARKING EXHIBIT

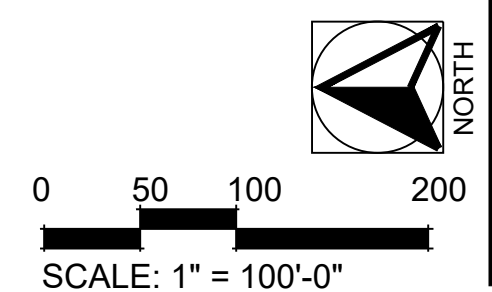
PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**1" = 100'**

SUBMITTED ON:  
**07.12.2019**

**46**  
OF 51



**UNIT COUNTS PER ZONE**

MEDIUM DENSITY RESIDENTIAL:

ACRES:	33.31
SINGLE FAMILY DETACHED UNITS:	19
ALLEY ACCESSED SINGLE FAMILY UNITS:	77
ALLEY ACCESSED PAIRED UNITS:	9
TOWNHOMES:	69
APARTMENTS:	168
TOTAL UNITS:	342
UNITS PER ACRE:	10.3

SUBURBAN RESIDENTIAL:

ACRES:	27.903 ACRES
SINGLE FAMILY DETACHED UNITS:	37
ALLEY ACCESSED SINGLE FAMILY UNITS:	21
ALLEY ACCESSED PAIRED UNITS:	77
TOTAL UNITS:	135
UNITS PER ACRE:	4.8

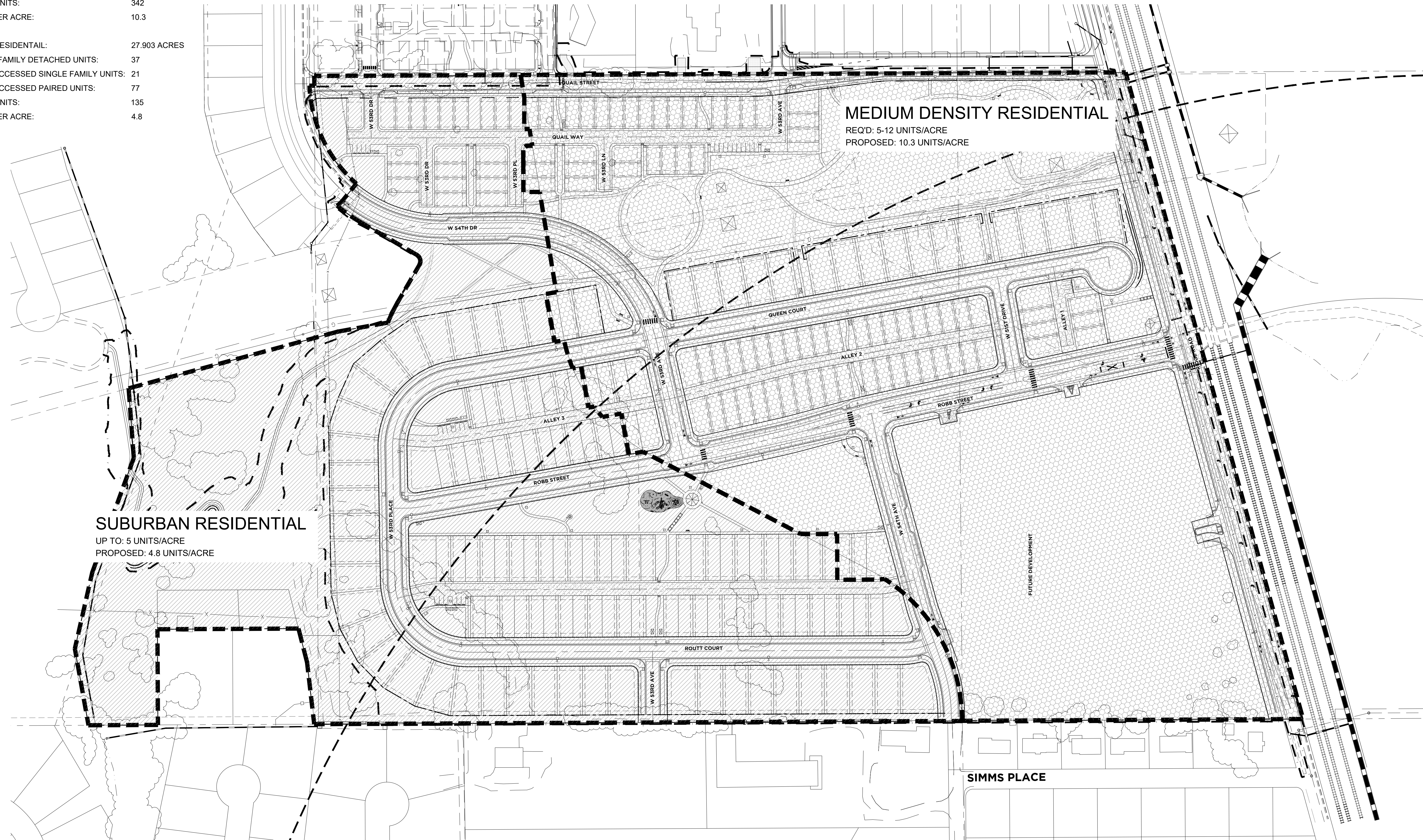
**TOTAL UNIT COUNT**

SINGLE FAMILY	56
COMPACT SINGLE FAMILY	98
DUPLEX	86
TOWNHOMES	69
APARTMENTS	168
<b>TOTAL:</b>	<b>477 UNITS</b>

**HASKINS STATION**

**FINAL DEVELOPMENT PLAN**

PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



**MEDIUM DENSITY RESIDENTIAL**  
REQ'D: 5-12 UNITS/ACRE  
PROPOSED: 10.3 UNITS/ACRE

**SUBURBAN RESIDENTIAL**  
UP TO: 5 UNITS/ACRE  
PROPOSED: 4.8 UNITS/ACRE

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12500 W. 58th Ave. #200  
Arvada, CO 80002  
P: 720.638.5190  
www.kteng.net

ARCHITECTURE / PLANNING:  
**adco**  
architecture design collaborative  
10113 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040

**Consilium Design**  
LAND PLANNING AND  
LANDSCAPE ARCHITECTURE  
7353 South Alton Way, Suite 135  
Centennial, CO 80112  
Ph: 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7353 South Alton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05-20-2019	KLW
2.	REVISIONS PER CITY COMMENTS	07-12-2019	KLW
3.			
4.			
5.			
6.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
DENSITY EXHIBIT

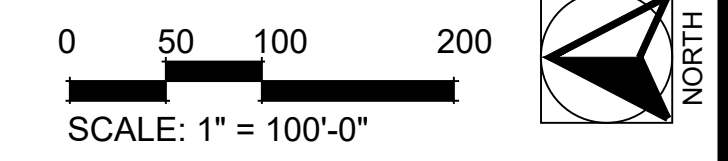
PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**1" = 100'**

SUBMITTED ON:  
**07.12.2019**

**47**  
OF 51

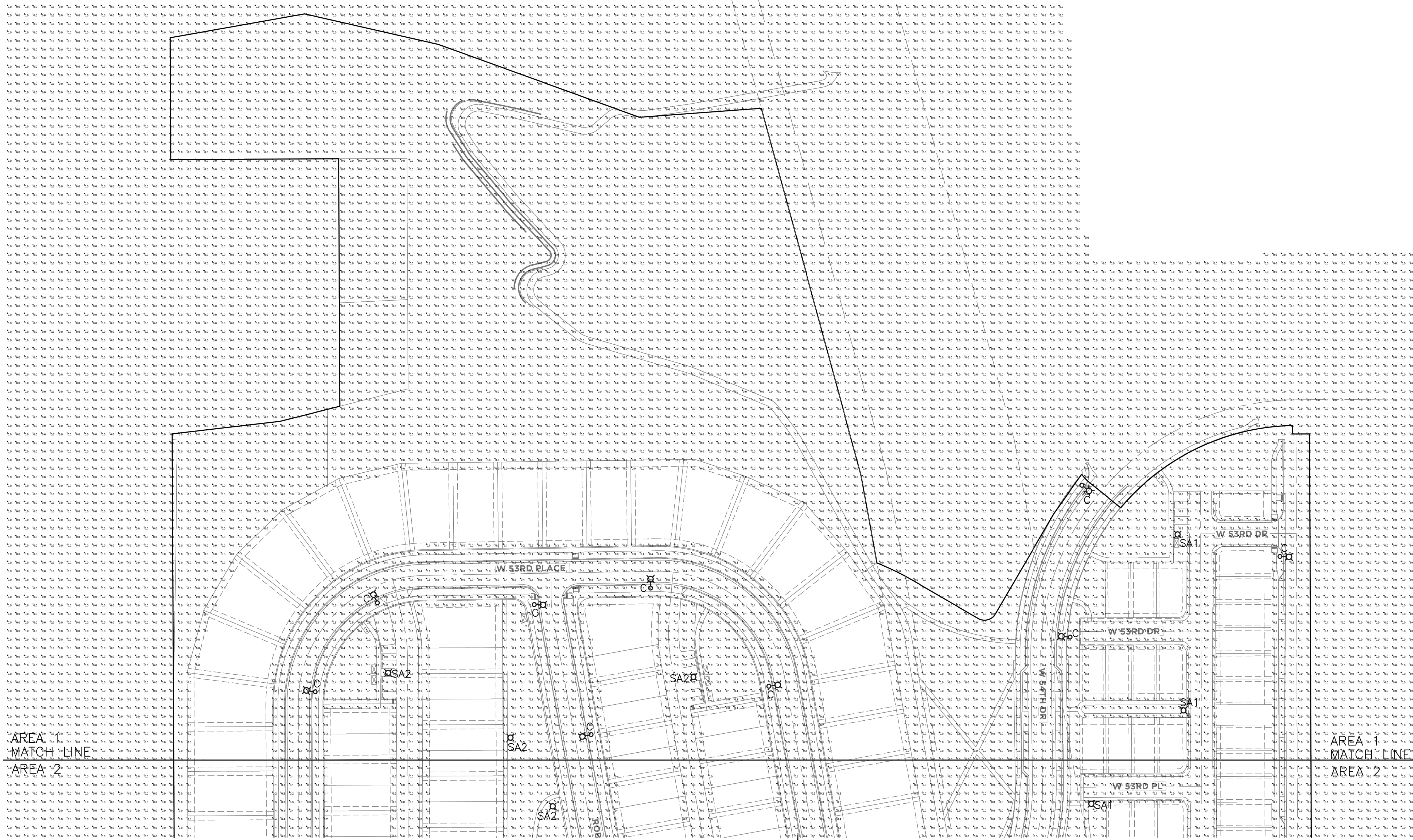


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# HASKINS STATION

## FINAL DEVELOPMENT PLAN

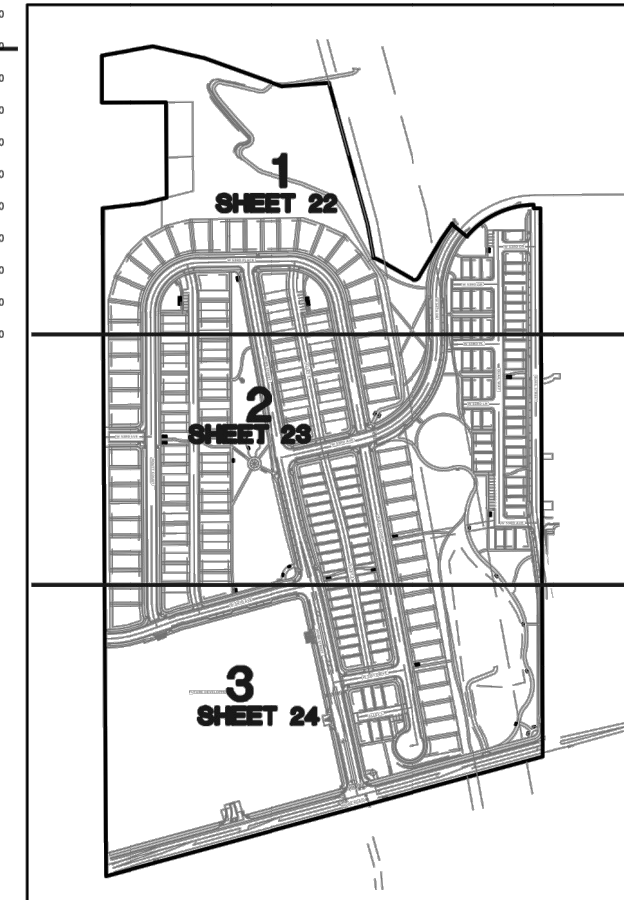
A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



SITE PHOTOMETRIC SUMMARY	
AVERAGE	= 0.1 FT. CANDLE
MINIMUM	= 0.0 FT. CANDLE
MAXIMUM	= 4.2 FT. CANDLE

### SITE PHOTOMETRIC PLAN - AREA 1

Scale: 1"=60'  
0 60 120  
FEET



**KEY PLAN**  
NTS

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12520 W. 58th Ave #330  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:  
**adco**  
architecture design colorado  
10111 Inverness Main St, Suite T  
Englewood, Colorado 80112  
www.adcolaborative.com  
303.351.0040

**Consilium Design**  
LAND PLANNING AND LANDSCAPE ARCHITECTURE  
2755 South Locust St, Suite 236  
Denver, CO 80222  
PH: 303.224.9529  
www.consiliumdesign.com

**ENGINEERING CONSULTANTS**  
ELECTRICAL ENGINEERS  
8011 E. Hampden Ave., Box 500, Denver, CO 80231  
PH: 303.756.5611 www.ecen.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7353 South Arden Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLV
2.	REVISIONS PER CITY COMMENTS	07/12/19	KLV
3.	REVISIONS PER CITY COMMENTS	08/23/19	KLV
4.			
5.			
6.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE PHOTOMETRICS PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**SG**

DESIGNED BY:  
**SG**

SCALE:  
**AS SHOWN**

SUBMITTED ON:  
**07.12.2019**

**48**  
OF 51

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# HASKINS STATION

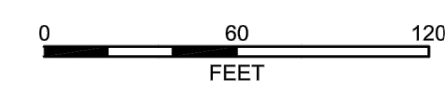
## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

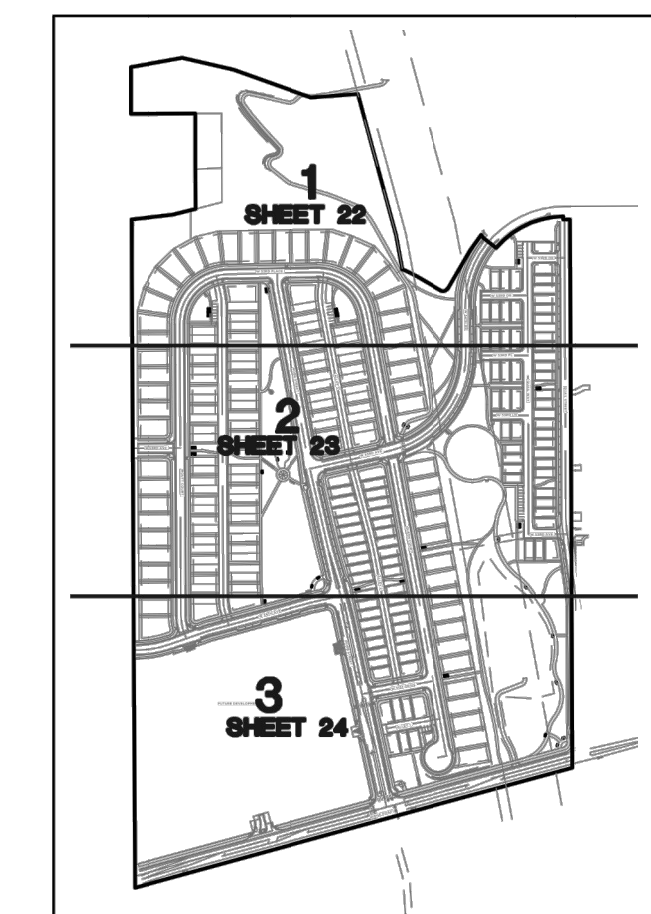


### SITE PHOTOMETRIC PLAN (CONTINUED) - AREA 2

Scale: 1"=60'



**SITE PHOTOMETRIC SUMMARY**  
 AVERAGE = 0.1 FT. CANDLE  
 MINIMUM = 0.0 FT. CANDLE  
 MAXIMUM = 4.2 FT. CANDLE



**KEY PLAN**  
NTS

ENGINEERING:



**KT ENGINEERING**  
 12500 W. 58th Ave #230  
 Arvada, CO 80002  
 P: 720.638.5190  
 www.kting.net

ARCHITECTURE / PLANNING:

**acdc**  
 architecture design colorado  
 10111 Inverness Main St. Suite T  
 Englewood, Colorado 80112  
 www.acdcollaborative.com  
 303.351.0040



**Consilium Design**  
 LAND PLANNING AND LANDSCAPE ARCHITECTURE  
 2755 South Locust St, Suite 236  
 Denver, CO 80222  
 Ph: 303.224.9529  
 www.consiliumdesign.com



**ENGINEERING CONSULTANTS**  
 ELECTRICAL ENGINEERS  
 8011 E. Hampden Ave., Box 300, Denver, CO 80231  
 303.756.5600  
 www.ecdenver.com

PREPARED FOR:

**SSM RIDGE, LLC**  
 7333 South Atwood Way  
 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLW
2.	REVISIONS PER CITY COMMENTS	07/12/19	KLW
3.	REVISIONS PER CITY COMMENTS	08/23/19	KLW
4.			
5.			
6.			

SHEET INFO:

**HASKINS STATION**  
 FINAL DEVELOPMENT PLAN  
 SITE PHOTOMETRICS PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
 DESIGNED BY:  
**XXX**

SCALE:  
**NA**

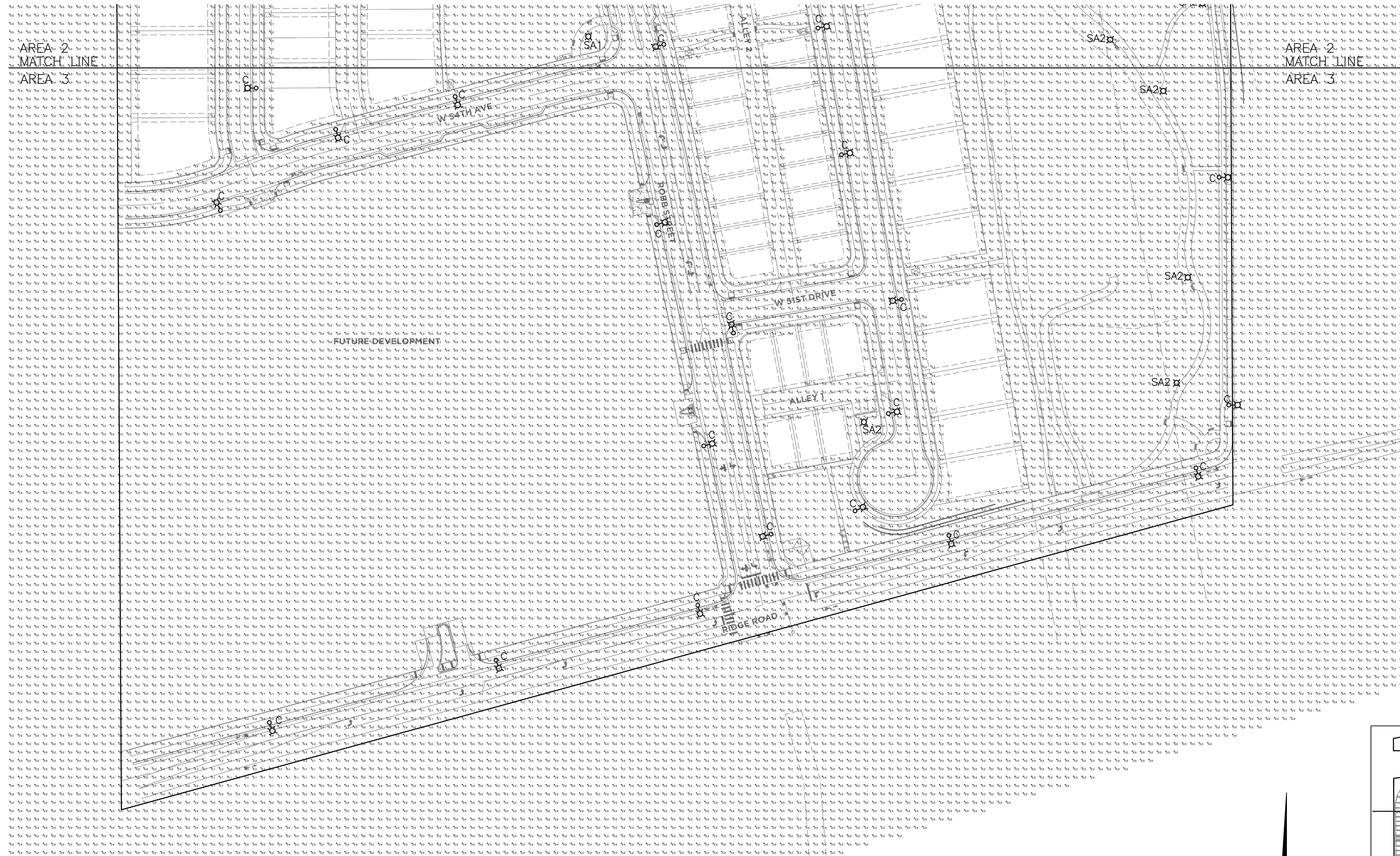
SUBMITTED ON:  
**07.12.2019**

**49**  
OF 51

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

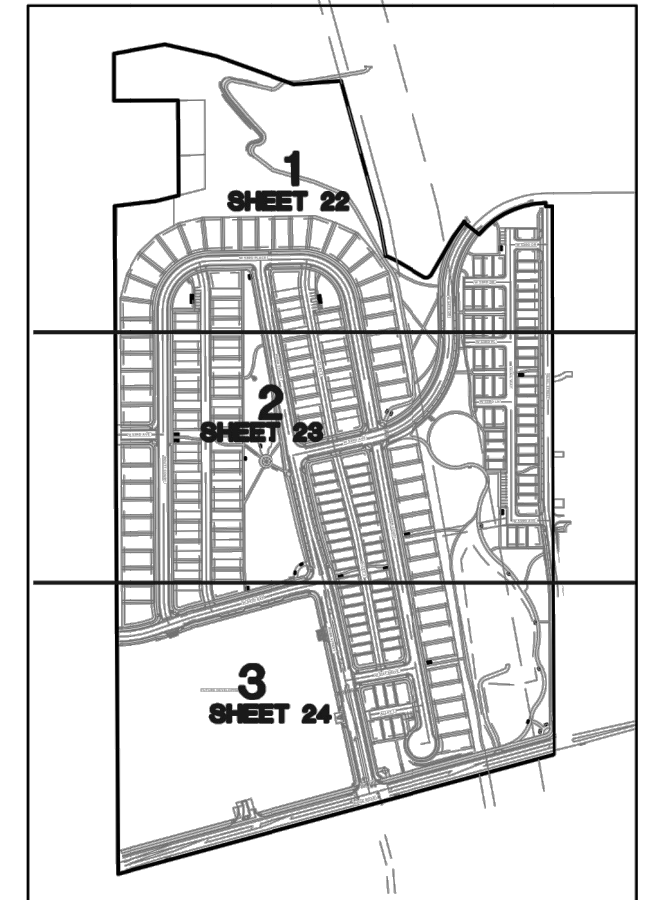
A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



SITE PHOTOMETRIC SUMMARY	
AVERAGE	= 0.1 FT. CANDLE
MINIMUM	= 0.0 FT. CANDLE
MAXIMUM	= 4.2 FT. CANDLE

### SITE PHOTOMETRIC PLAN (CONTINUED) - AREA 3

Scale: 1"=60'  
0 60 120 FEET



KEY PLAN  
NTS

ENGINEERING:  
**KT ENGINEERING**  
 12520 W. 58th Ave #230  
 Arvada, CO 80002  
 P: 720.638.5190  
 www.kting.net

ARCHITECTURE / PLANNING:  
**acdc**  
 architecture design collaborative  
 10113 Inverness Main St, Suite T  
 Englewood, Colorado 80112  
 www.acdcollaborative.com  
 303.351.0040

LAND PLANNING AND LANDSCAPE ARCHITECTURE:  
**Consilium Design**  
 LAND PLANNING AND LANDSCAPE ARCHITECTURE  
 2755 South Locust St, Suite 236  
 Denver, CO 80222  
 P: 303.224.9529  
 www.consiliumdesign.com

ENGINEERING CONSULTANTS:  
**ENGINEERING CONSULTANTS**  
 ELECTRICAL ENGINEERS  
 8811 E. Hampden Ave., Box 500, Denver, CO 80231  
 P: 303.756.5800  
 www.ecenr.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
 7333 South Atton Way  
 Centennial, CO 80112  
 P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05/20/19	KLV
2.	REVISIONS PER CITY COMMENTS	07/12/19	KLV
3.	REVISIONS PER CITY COMMENTS	08/23/19	KLV
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION FINAL DEVELOPMENT PLAN SITE PHOTOMETRICS PLAN

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**

DESIGNED BY:  
**XXX**

SCALE:  
**NA**

SUBMITTED ON:  
**07.12.2019**

**50**  
OF **51**

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS

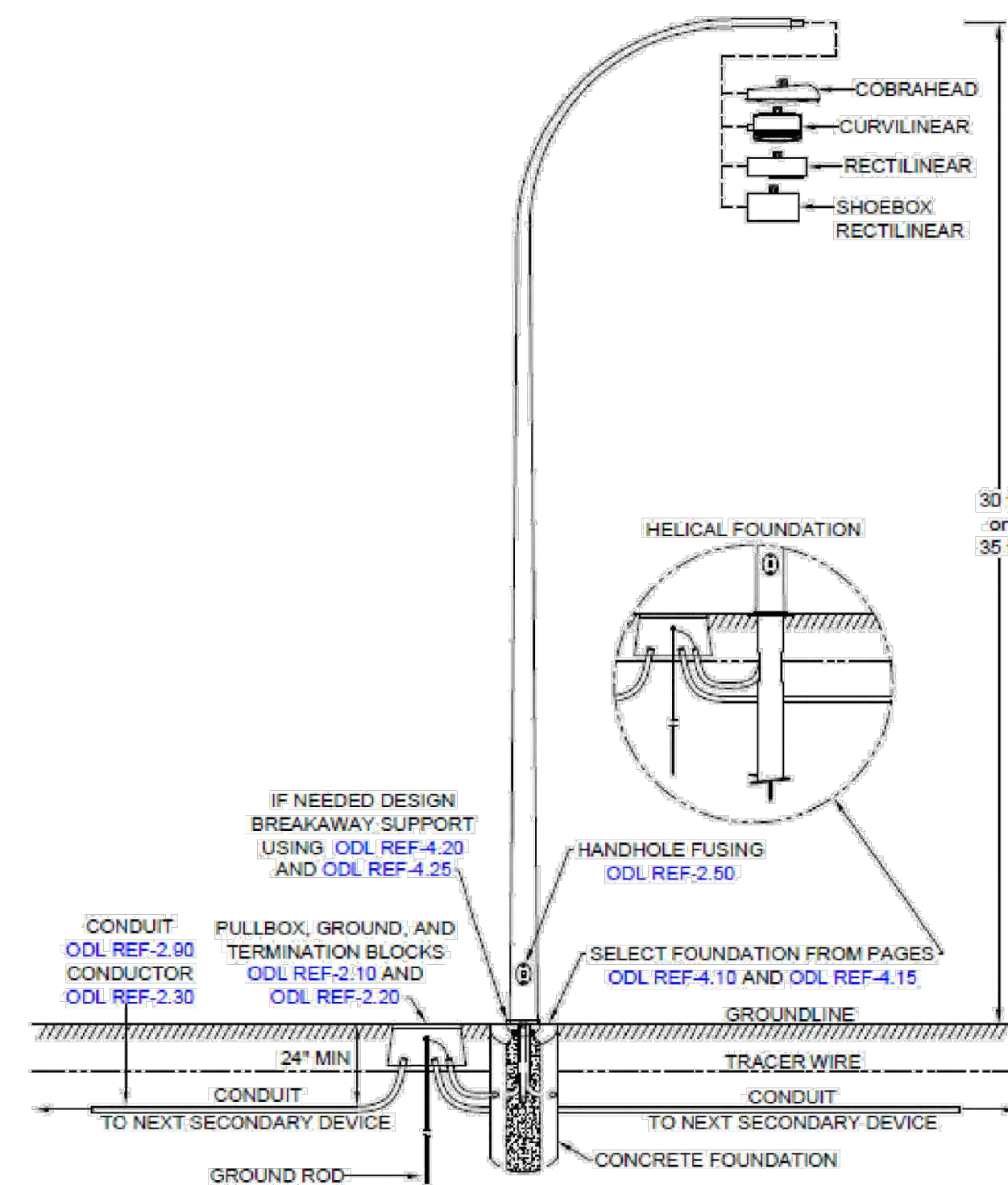
### LIGHTING FIXTURE SCHEDULE

ITEM	NUMB	MANUFACTURER	CAT. NO.	FINISH	LAMPS	MOUNTING	DESCRIPTION
SA1	45	HEAD: ARCHITECTURAL AREA LIGHTING POLE: ARCHITECTURAL AREA LIGHTING	PROV-T2-32LED-3K-700-BLT-SPK-HSS-PT23-PCA-C PR4-4R20-226-CBS-BLT	MATTE BLACK MATTE BLACK	73 WATT 3000K, 700 MA 5,290 LUMENS	POST TOP	SINGLE HEAD POST TOP LED POLE LIGHT ON ROUND 20 FT POLE. BLACK FINISH, TYPE II OPTICS, HOUSE SIDE SHIELD, BUILT-IN PHOTO CELL
SA2	33	ARCHITECTURAL AREA LIGHTING POLE: ARCHITECTURAL AREA LIGHTING	PROS-Y2-3030-BLT-PCA-C PR4-4R10-226-CBS-BLT	MATTE BLACK MATTE BLACK	43 WATT 3000K, 400 MA 2,975 LUMENS	POST TOP	SINGLE HEAD POST TOP LED POLE LIGHT ON ROUND 10 FT POLE. BLACK FINISH, TYPE II OPTICS, BUILT-IN PHOTO CELL
C	33	XCEL ENERGY STANDARD		GREY	4000K LED 6,000 LUMENS	DAVIT ARM	XCEL ENERGY STANDARD "TYPE C" COBRAHEAD STREET LIGHT ON 30 FT POLE, DAVIT ARM, TYPE III OPTICS

**NOTE:**

ALL FIXTURES SHALL BE FULL CUT-OFF AND DIRECTED DOWN IN FULL CUT-OFF POSITION.

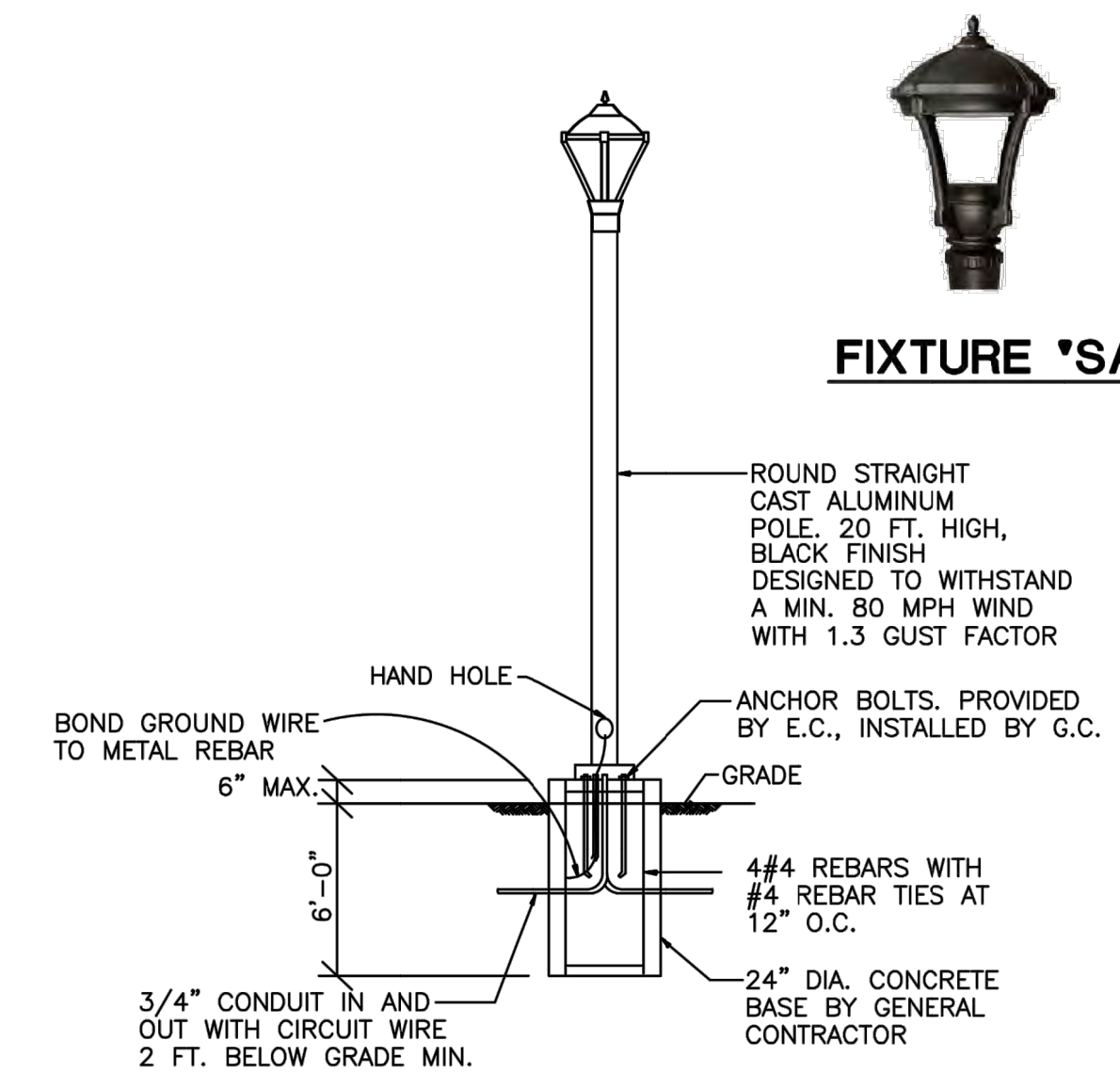
### STEEL POLE - DAVIT ARM SIDE MOUNT LUMINAIRES



### XCEL ENERGY STANDARD FIXTURE 'C'

NO SCALE

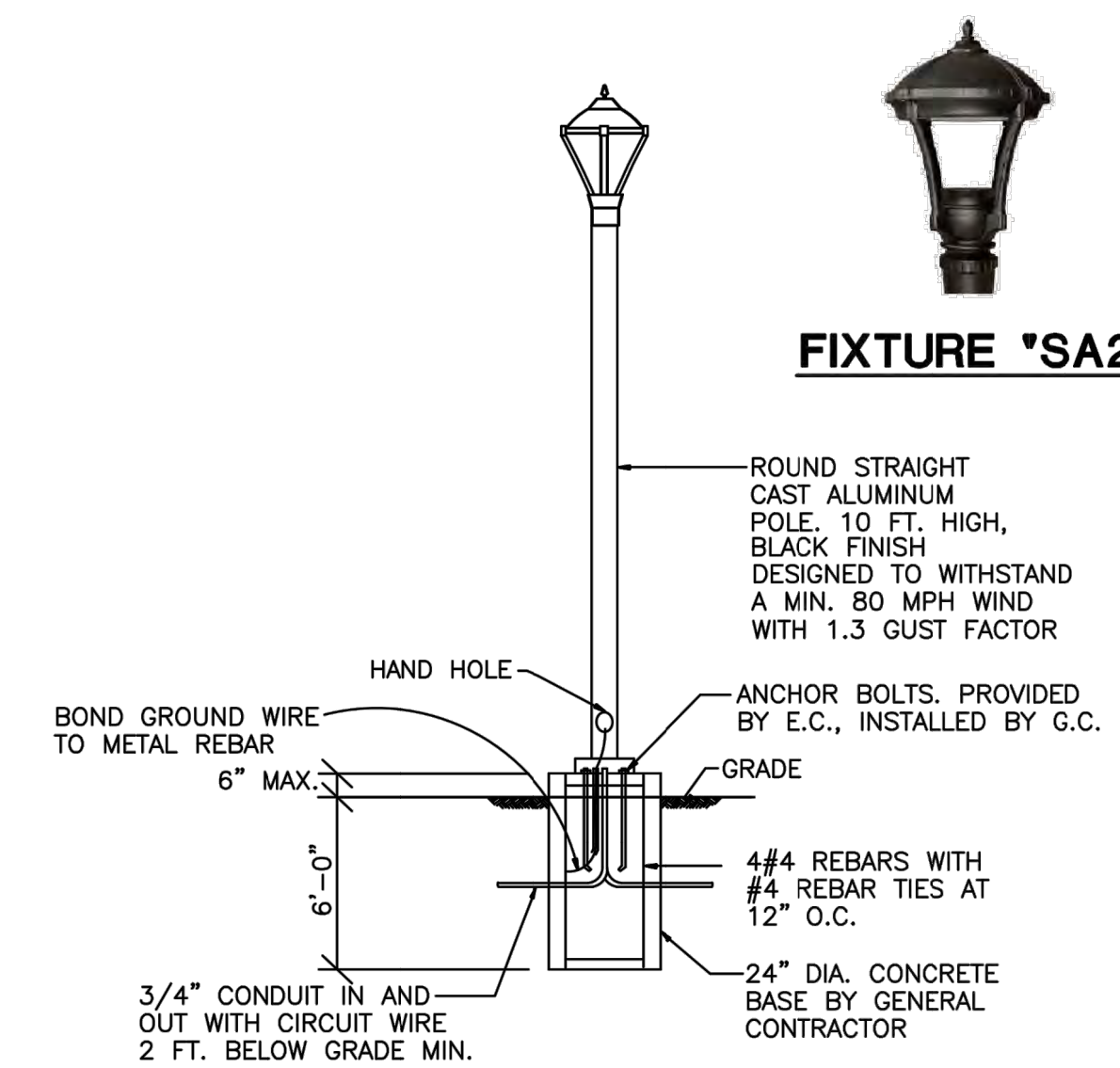
### FIXTURE 'SA1'



### FIXTURE 'SA1' INSTALLATION DETAIL

NO SCALE

### FIXTURE 'SA2'



### FIXTURE 'SA2' INSTALLATION DETAIL

NO SCALE

ENGINEERING:



**KT ENGINEERING**  
12500 W. 58th Ave. #250  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:



**Architecture Design Collaborative**  
10111 Inverness Main St. Suite T  
Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040



**Consilium Design**  
LAND PLANNING AND LANDSCAPE ARCHITECTURE  
2755 South Locust St, Suite 236  
Denver, CO 80222  
Ph: 303.224.9520  
www.consiliump.com



**ENGINEERING CONSULTANTS**  
ELECTRICAL ENGINEERS  
9011 E. Hampden Ave., Box 300, Denver, CO 80231  
303.750.5500  
www.ecs.com

PREPARED FOR:

**SSM RIDGE, LLC**  
7333 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05.20.19	KLW
2.	REVISIONS PER CITY COMMENTS	07.12.19	KLW
3.	REVISIONS PER CITY COMMENTS	08.23.19	KLW
4.			
5.			
6.			
7.			

SHEET INFO:

**HASKINS STATION**  
FINAL DEVELOPMENT PLAN  
SITE LIGHTING AND FIXTURES

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**NA**

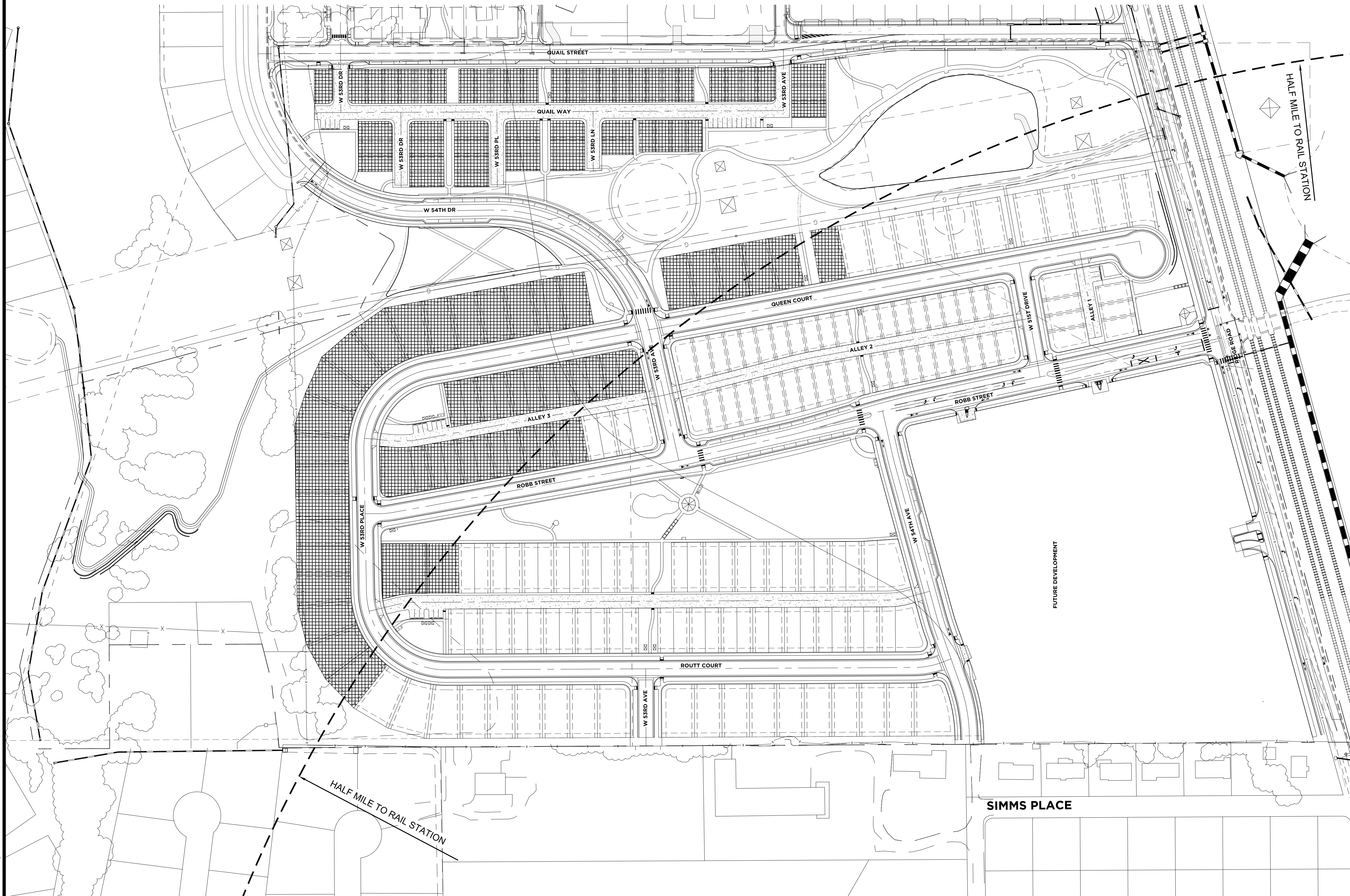
SUBMITTED ON:  
**07.12.2019**

**51**  
OF 51

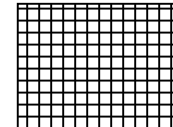
# HASKINS STATION

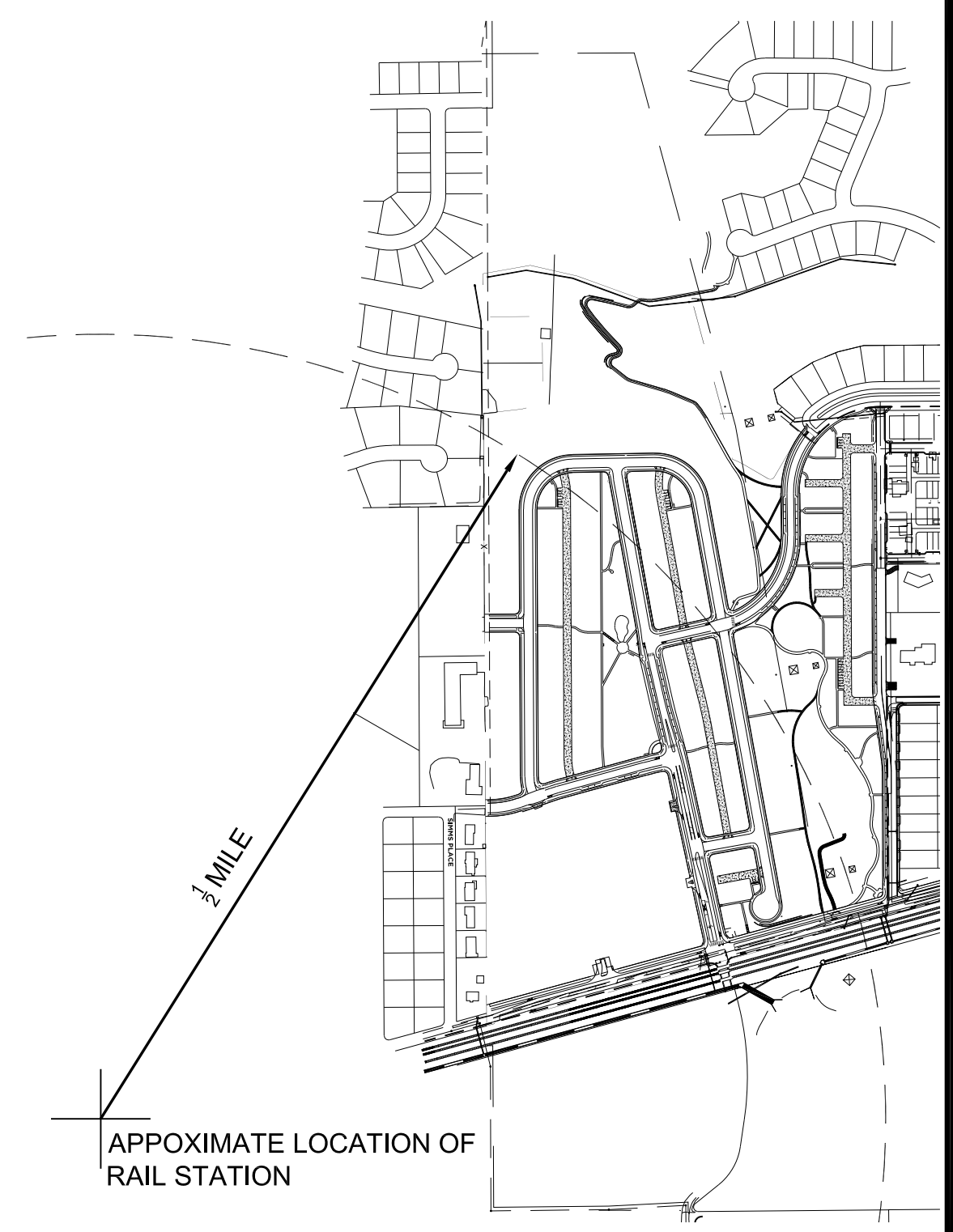
## FINAL DEVELOPMENT PLAN

A PARCEL OF LAND BEING ALL OF TRACT L, SKYLINE ESTATES FILING NO. 1, A SUBDIVISION RECORDED AT RECEPTION NO. F0988769 TOGETHER WITH THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2015097882 AND LOCATED IN THE WEST 1/2 OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO  
240 RESIDENTIAL LOTS AND 24 TRACTS



### LEGEND

 LOTS CALCULATED OUTSIDE OF 1/2 MILE RADIUS TO RAIL STATION



APPROXIMATE LOCATION OF RAIL STATION  
REFERENCE MAP  
NOT TO SCALE

UNITS OUTSIDE 1/2 MILE RADIUS	
	# OF UNITS OUTSIDE 1/2 MILE RADIUS
SINGLE FAMILY DETACHED UNITS	22
ALLEY ACCESSED SINGLE FAMILY UNITS	51
ALLEY ACCESSED PAIRED UNITS	20

ENGINEERING:  
**KT**  
**KT ENGINEERING**  
12500 W. 58th Ave #250  
Arvada, CO 80002  
P: 720.638.5190  
www.kting.net

ARCHITECTURE / PLANNING:  
**adco**  
architecture design collaborative  
10111 Inverness Main St, Suite T  
Englewood, Colorado 80112  
www.adcollaborative.com  
303.351.0040

**Consilium Design**  
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LANDSCAPE ARCHITECTURE  
7353 South Atton Way, Suite 135  
Centennial, CO 80112  
Ph: 303.224.9520  
www.consiliumdesign.com

PREPARED FOR:  
**SSM RIDGE, LLC**  
7353 South Atton Way  
Centennial, CO 80112  
P: 303.770.9111

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
1.	REVISIONS PER CITY COMMENTS	05-20-2019	KLW
2.	REVISIONS PER CITY COMMENTS	07-12-2019	KLW
3.			
4.			
5.			
6.			

SHEET INFO:

# HASKINS STATION

## FINAL DEVELOPMENT PLAN

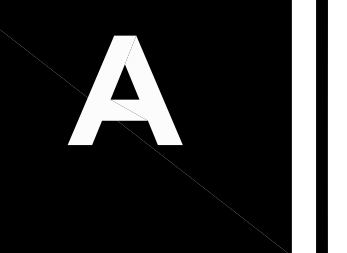
### TRANSIT PROXIMITY

PROJECT NO:  
**0049-1613**

DRAWN BY:  
**XXX**  
DESIGNED BY:  
**XXX**

SCALE:  
**1" = 100'**

SUBMITTED ON:  
**11.20.2017**



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